



AGENDA

**PLANNING AND ZONING BOARD REGULAR MONTHLY MEETING
TUESDAY, SEPTEMBER 19, 2023, 6:00 P.M.
CITY OF ST. AUGUSTINE BEACH, 2200 A1A SOUTH, ST. AUGUSTINE BEACH, FL 32080**

NOTICE TO THE PUBLIC

THE PLANNING AND ZONING BOARD HAS ADOPTED THE FOLLOWING PROCEDURE: PERSONS WISHING TO SPEAK ABOUT TOPICS THAT ARE ON THE AGENDA MUST FILL OUT A SPEAKER CARD IN ADVANCE AND GIVE IT TO THE RECORDING SECRETARY. THE CARDS ARE AVAILABLE AT THE BACK OF THE MEETING ROOM. THIS PROCEDURE DOES NOT APPLY TO PERSONS WHO WANT TO SPEAK TO THE BOARD UNDER "PUBLIC COMMENTS."

- I. CALL TO ORDER
- II. PLEDGE OF ALLEGIANCE
- III. ROLL CALL
- IV. APPROVAL OF MINUTES OF REGULAR PLANNING AND ZONING BOARD MEETING OF AUGUST 15, 2023
- V. PUBLIC COMMENT
- VI. NEW BUSINESS
 - A. Final/Major Development File No. FD 2023-01, for demolition of the existing 48,555-square-foot Publix grocery store and rebuild to a new 54,964-square-foot Publix grocery store and reconfiguration of the Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, in a commercial land use district at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, Patrick McKinley, Agent for Regency Centers and MCW-RC-FL-Anastasia LLC, Applicant
 - B. First reading of proposed code changes to the City's Land Development Regulations, Section 6.01.04, pertaining to building height measurement, exceptions and applications, and to add Section 6.01.05, pertaining to drainage requirements for new development
 - C. Discussion of proposed code changes to the City's Land Development Regulations, Section 3.02.05, pertaining to regulations for special events for business/promotional/sales permits on privately-owned property in the commercial land use district

VII. OLD BUSINESS

VIII. BOARD COMMENT

IX. ADJOURNMENT

NOTICES TO THE PUBLIC

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In accordance with the Americans with Disabilities Act, persons needing a special accommodation to participate in this proceeding should contact the City Manager's Office no later than seven days prior to the proceeding at the address provided above, or telephone 904-471-2122, or email sabadmin@cityofsab.org

For more information on any of the above agenda items, please call the City of St. Augustine Beach Building and Zoning Department at 904-471-8758. The agenda material containing background information for this meeting is available on a CD upon request at the City Manager's office for a \$5.00 fee. Adobe Acrobat Reader will be needed to open the file.



MINUTES

PLANNING AND ZONING BOARD REGULAR MONTHLY MEETING TUESDAY, AUGUST 15, 2023, 6:00 P.M.

CITY OF ST. AUGUSTINE BEACH, 2200 A1A SOUTH, ST. AUGUSTINE BEACH, FL 32080

I. CALL TO ORDER

II. PLEDGE OF ALLEGIANCE

III. ROLL CALL

BOARD MEMBERS PRESENT: Chairperson Kevin Kincaid, Hulsey Bray, Conner Dowling, Larry Einheuser, Victor Sarris, Junior Alternate Rhys Slaughter.

BOARD MEMBERS ABSENT: Vice-Chairperson Chris Pranis, Hester Longstreet, Senior Alternate Gary Smith.

STAFF PRESENT: Building Official Brian Law, City Attorney Jeremiah Blocker, Planner Jennifer Thompson, Recording Secretary Bonnie Miller.

IV. APPROVAL OF MINUTES OF REGULAR PLANNING AND ZONING BOARD MEETING OF JULY 18, 2023

Motion: to approve the minutes of the Board's meeting of July 18, 2023. **Moved** by Conner Dowling, **seconded** by Larry Einheuser, **passed 6-0** by unanimous voice-vote.

V. PUBLIC COMMENT

There was no public comment pertaining to anything not on the agenda.

VI. NEW BUSINESS

- A. Land Use Variance File No. VAR 2023-11, for a front yard setback reduction from 20 feet to 12 feet and a street side yard setback reduction from 12 feet to 8 feet for proposed new construction of a 300-square-foot covered front porch and street side handicap-accessible ramp addition to an existing single-family residence in a medium-low density residential land use district on Lot 1, Block 57, Coquina Gables Subdivision, at 400 E Street, St. Augustine Beach, Florida, 32080, Kathleen J. Bice and Marvin D. Krohn, Applicants

Jennifer Thompson: This first order of business is a variance application for 400 E Street. The applicants are requesting a reduction in the front setback from the required 20 feet

to 12 feet, and a reduction of the street side setback, as this is a corner lot, from the required 12 feet to 8 feet. These requested setback reductions are for a proposed 300-square-foot addition for a covered porch and a covered wheelchair-accessible ramp.

Kevin Kincaid: Any questions? Hearing none, may we hear from the applicants, please?

Yuliia Moiseeva, 405 Treaty Oak Lane, St. Augustine, Florida, 32092, Agent for Applicants: I am the agent for the applicants, who are the owners of 400 E Street. We are asking for setback reductions to add a covered porch and handicap-accessible ramp. The covered porch will be a wood-frame structure, and the ramp is for elderly persons in wheelchairs.

Conner Dowling: Will the new porch and ramp be built on the same foundation?

Yuliia Moiseeva: The wooden wheelchair-accessible ramp will be built on the side of the house, and it will be elevated up to the porch addition and made level with the front door, so the elderly persons will have easy wheelchair access from the ramp leading up to the covered front porch and then to the front door of the house. The porch and ramp will be built on a wood pier or post foundation with a wood frame porch structure on top.

Rhys Slaughter: Is there a precedent for doing this under the circumstances that it is only used as a covered porch and a wheelchair ramp, so that moving forward, say in 10 years or so, this won't become a complete remodel with all of this additional square footage converted to enclosed space within the setbacks allowed by this variance, if approved?

Brian Law: If this variance is granted, the approval will be very specific to what the applicants are requesting to build per the variance application. If the property is sold down the road, the new owners would not be able to enclose the porch without a permit, and ideally, as part of their due diligence, zoning would look at that for assessment of an impact fee adjustment for new conditioned space, and there would be a record of how the porch and wheelchair ramp were allowed to be built, per the variance application and approval. This doesn't mean current or future owners couldn't apply to build something else down the road, but to do so, they would have to go through the variance process to change anything not specifically allowed per the approval of this current variance request.

Kevin Kincaid: So, this does not give current or future owners an automatic right to build anything they want within the setback reductions that would be granted by this variance. The variance, if granted, would be specifically limited to what the applicants are requesting to build per the submitted variance application and accompanying plans.

Brian Law: Yes. If the Board decides to grant this variance, I recommend the motion to approve include language stating construction shall be in accordance with the submitted plans, or something of that magnitude. Keep in mind, if the house is destroyed by a natural disaster, terrorist act, or something like that, this variance would no longer exist.

Conner Dowling: What will happen to the little porch currently located at the entrance to the house on the E Street side? This little porch is not raised up but is built at grade.

Yuliia Moiseeva: The porch itself is no longer there, but the concrete slab is still there.

Conner Dowling: I was just curious, as I saw that an enclosed porch not elevated to the level of the house used to be there. It appears, without a graphic scale in my hand, that the new addition will extend slightly beyond the area where that porch slab is, correct?

Yuliia Moiseeva: Yes, the covered porch addition will extend a little further out and to the west of this slab.

Kevin Kincaid: I saw a significant number of names on the petition in support of this variance included in the variance application submittal. I assume nothing has been submitted opposing the variance, as we have nothing in our packets in opposition to this.

Jennifer Thompson: No. We have not received anything in opposition to this.

Kevin Kincaid: I went by and looked at this property, and it looks like the proposed porch and handicap ramp would fit fine in the location the applicants are asking to build them.

Brian Law: Going backwards a little bit, I would like to ask the applicants or their agent to state on the record that they have no intention of doing anything aside from what has been submitted and requested in the variance application and accompanying documents, and that there will be no future enclosures or anything of that nature.

Kevin Kincaid: Okay. Could you state on the record that you have no intention of creating anything different from what is shown on the submitted plans for the variance request?

Yuliia Moiseeva: I would like to ask my clients this, if I may. After checking with them, they have no other plans for this addition aside from what is shown in the application.

Victor Sarris: And just so we don't get ourselves into any trouble, this hardship that is defined in item number one of the considerations for the granting of a variance, as stated on page four of the application, meets the City's criteria for hardships, right?

Brian Law: Only the Board can answer that question.

Kevin Kincaid: I actually had a problem with the hardship, and the way it was written in the application, because the hardship can't be the rule. It's like, if I get a speeding ticket, the hardship can't be the speed limit. Elsewhere in the application, however, it states the proposed addition is for wheelchair access for occupants who are 85 and 95 years old, so I was able to pull that over to the hardship, and for myself, it met my criteria for a hardship. However, one of the first things I noticed in this variance application was the way the hardship stated the setback rules won't allow the porch and handicap-accessible ramp addition that the applicants want to build, but the hardship cannot be the rule.

Yuliia Moiseeva: The hardship is wheelchair access as stated by the Americans with Disabilities Act (ADA), that every person in a wheelchair must have an access.

Jeremiah Blocker: The ADA would not apply here, because the property is not a public facility, and it doesn't meet the threshold for ADA accessibility. I think the premise, and you have already gotten there, is that you have elderly people needing wheelchair access. The ADA would not apply in these circumstances, but we still want to make sure, when the Board puts the reasoning behind its decision on the record, that the hardship is legally sufficient. It has already been stated that it is for wheelchair access for elderly persons.

Kevin Kincaid: The Board has been careful about this in the past, because if we approve this variance, we are approving something that goes on in perpetuity, whereas the people requesting the variance may not. We have declined, in the past, to use medical conditions strictly as a hardship, because medical conditions don't last, but once a variance is approved, the building goes on and the variance lasts for however long the building exists.

Jeremiah Blocker: The Board can deviate, and rely on the humanitarian impacts, but the applicants are not running a business here, so do not rely on the ADA for your decision.

Victor Sarris: So, are we saying that this isn't specific to a medical condition?

Kevin Kincaid: I think the medical condition contributes to it, along with the ability of the occupants to fully utilize their property.

Victor Sarris: Is the medical condition the hardship then?

Kevin Kincaid: Probably, yes, the age and medical conditions of the elderly persons.

Conner Dowling: I would also see the property site and the constraints of this corner lot as a hardship. There are obviously good reasons for the corner street side setbacks, but if this wasn't a corner lot, the side setbacks would be 7.5 feet each, based on the City's current Land Development Regulations (LDRs), and the applicants would not need a variance for a reduction of the required 12-foot street side yard setback to 8 feet.

Kevin Kincaid: Correct, they would only need a variance for the front yard setback.

Conner Dowling: There is a great example on the overhead right now of the aerial view of this property and adjacent properties on this block of E Street, where you can see that the fronts of the houses are all consistent and the roofs are all in a line. This develops a street corridor and these types of neighborhood character things. This is not to say that you can't have front porches extending beyond that, but I think keeping the depth of the proposed front porch to a maximum of 8 feet is a good number, as this still allows a comfortable size porch on which you could have a table and chairs. One other thing I saw, from just a streetscape perspective, so that this addition doesn't come across as so glaring and something that needs a variance, is that potentially, completing the gable of the roofline of the new addition could be done as opposed to continuing up to the top of the existing house gable. This would reduce the scale a little bit, and I think this would make the streetscape potentially better. Also, a couple of other things could be done to the design. We are not here to critique the design, but when you are pushing into a setback,

I feel it is the Board's job to think about things like this and how they will affect the street and the neighbors. To me, these are overall small things that could be done while still achieving the square footage needed for the front porch and handicap ramp addition.

Kevin Kincaid: I know we approved another similar variance maybe last year, on F Street?

Brian Law: You actually just approved one even more recently.

Jennifer Thompsom: Yes, this was for 607 11th Street, where a variance was granted to reduce the rear setback from 20 feet to 16 feet, 5 inches for an addition.

Kevin Kincaid: All right, any other questions or comments? Hearing none, do we have a motion?

Rhys Slaughter: I'll motion to approve Land Use Variance File No. VAR 2023-11, as it has been submitted.

Larry Einheuser: I'll second that.

Kevin Kincaid: We have a motion and a second. Any discussion on the motion?

Conner Dowling: I personally would like to see that front addition as an 8-foot-wide porch and the gable roofline changed, for the reasons I stated previously. Otherwise, I would be in favor of approving this.

Kevin Kincaid: My only thought about this is that people will be trying to turn a wheelchair around in this space, and if the applicants are actually going to accomplish what they want and allow people in wheelchairs to use the porch and get around tables and whatever, reducing the width of the porch might make this pretty tight. It would be different if there were complaints from the neighborhood, but the applicants have really made the effort to get the petition in support of this from pretty much everyone around them, and we've heard no opposition to this. I understand what you are saying, but I do not think asking for a front setback reduction to 12 feet for the porch is unreasonable in this case.

Larry Einheuser: I agree.

Yuliia Moiseeva: The proposed additions are designed the way they are because there are electrical wires on the left side, and an electrical pole on the wall. The existing roof is elevated and further extended so as not to interrupt or interfere with any electrical issues.

Conner Dowling: The electrical meter is on the exterior wall in that location?

Yuliia Moiseeva: Yes.

Jeremiah Blocker: Mr. Chair, before the Board votes, I want to make sure we open the floor for public comment.

Kevin Kincaid: Good point. Is there any public comment? Hearing none, we have a motion and a second. Conner, do you want to create an amendment to the motion?

Conner Dowling: Yes, I'll amend the motion to change the roofline, because the issue, to me, is the streetscape and encroachment into the front setback, and seeing that roofline stick out. Reducing the porch depth to 8 feet, which I feel is still acceptable for a porch, and changing the roofline would minimize the impact and visibility of this addition.

Brian Law: There was a motion made and a second to this motion, so that motion needs to run its course, or the motion needs to be withdrawn, and another motion made and seconded, if the original motion on the floor is to be amended.

Jeremiah Blocker: The original maker of the motion would have to agree to amend the motion that was made. This is commonly known as a friendly amendment, and then there would have to be a second to this friendly amendment.

Rhys Slaughter: Perhaps I was the wrong one to make this motion, because honestly, if the applicants were asking for this wheelchair ramp because they have relatives who visit twice a year, I would say yes to it. They should be allowed to have whoever they want, including anyone who is wheelchair-bound, to be able to come into their home, and if this is what they feel is necessary, I just feel like we are not giving up setback areas all the way to the street for a ramp or anything like that. For me personally, it makes sense to move forward on this as requested by the applicants in their variance application. I am not completely disagreeing what you are saying with the proposed amendment to the motion, but I also think it is the applicants' house, and they are the ones who have to look at it every day, and maybe the suggestion itself is enough to motivate them to at least look into what has been suggested in the proposed amendment to the motion. They are the ones who have to deal with wheelchair-bound people in their house every day, and I think they may need a little more space and flexibility to make what they want to do work.

Brian Law: Okay, so we have the original motion that was made and seconded, and the maker of this motion does not seem willing to amend his motion. However, this motion can still run its course, and if the Board's vote is not favorable and the motion does not pass, another motion can be made and seconded and the Board can vote on that. But the original motion must run its course now, and the Board needs to vote on it.

Kevin Kincaid: Okay, we have a motion and a second. The motion is to approve the variance in accordance with the application documents and plans as submitted. Is there any more discussion on this motion? Hearing none, may we have a vote, please?

Motion: to approve Land Use Variance File No. VAR 2023-11, for a front yard setback reduction from 20 feet to 12 feet and a street side yard setback reduction from 12 feet to 8 feet, for proposed new construction of a 300-square-foot covered front porch and street side handicap-accessible ramp addition to an existing single-family residence in a medium-low density residential land use district on Lot 1, Block 57, Coquina Gables Subdivision, at 400 E Street, St. Augustine Beach, Florida, 32080, in accordance with the

documents and plans submitted in the variance application. **Moved** by Rhys Slaughter, **seconded** by Larry Einheuser, **passed 5-1** by the Board by voice-vote, with Conner Dowling dissenting.

B. Land Use Variance File No. VAR 2023-12, for rear and north side yard setback reductions from 10 feet to 5 feet for proposed new construction of a 645-square-foot pool, deck, and screen enclosure addition to an existing single-family residence in the Seagrove Planned Unit Development (PUD) on Lot 7, Seagrove St. Augustine Beach Unit 1, at 508 Weeping Willow Lane, St. Augustine Beach, Florida, 32080, Carmen Pollitz, Agua Construction, Agent for Gary T. and Cynthia A. Oslin, Applicants

Jennifer Thompson: The next item on the agenda is a variance application for 508 Weeping Willow Lane, in the Seagrove PUD. This request is for setback reductions from the 10-foot rear and north side setback requirements for pools, screen enclosures and decks, per Seagrove's PUD ordinance, to 5 feet. In the past, the Board has seen several similar variances in Seagrove, as the setback restrictions per the PUD ordinance are more restrictive than the City's setbacks per the LDRs for pools, screen enclosures, and decks.

Kevin Kincaid: So, the only reason we are here is because the PUD ordinance has more restrictive setbacks than the City's LDRs require. If this property were anywhere else but Seagrove, a variance would not be required for the pool, screen enclosure, and deck.

Jennifer Thompson: Correct. The Seagrove Architectural Review Board did sign off and approve the proposed plans submitted by Agua Construction, agent for the applicants.

Kevin Kincaid: Has there been any opposition to this?

Jennifer Thompson: No. Correspondence in support of the variance from the property owners of 852 Tides End Drive and 611 Poinsettia Street has been submitted.

Kevin Kincaid: So there has been no opposition at all, and this is similar to other variances the Board has approved recently for properties in Seagrove.

Jennifer Thompson: Correct.

Kevin Kincaid: Okay, may we hear from the applicant, please?

Carmen Pollitz, Agua Construction, 2550 North State Street, Bunnell, Florida, 32110, Agent for Applicants: I am Carmen Pollitz, and I represent Agua Construction and the applicants, who are the owners of the property at 508 Weeping Willow Drive. Basically, this variance request is no different from others that have been applied for and granted in Seagrove. The lot is atypical in shape, and the footprint of the house is skewed on the property, so there is not really much of a backyard at all. The pool will still be small, even with the requested setback reductions to 5 feet for the rear and north side setbacks. There is no lot or structure behind this property, as it backs up to A1A South.

Kevin Kincaid: Are there any questions for the applicant's agent, or any public comments?

Kathleen Elizabeth, 931 A1A Beach Boulevard Unit 201, St. Augustine Beach, Florida, 32080: Will any significant trees be cut down to build what the applicants propose?

Carmen Pollitz: No, there are no trees being cut down. A couple of tree limbs may need to be trimmed or taken off, but that is all.

Kevin Kincaid: Any trees with diameters-at-breast-height (DBH) of 30 inches or greater would require approval from this Board before they could be removed, correct?

Brian Law: Yes, any tree with a DBH of 30 inches or greater that is requested to be removed requires application to the Planning and Zoning Board, and the Board's approval of the tree removal request, per the tree regulations in Article V of the LDRs.

Kevin Kincaid: Any other comments, or questions? Hearing none, do we have a motion?

Motion: to approve Land Use Variance File No. VAR 2023-12, for rear and north side yard setback reductions from 10 feet to 5 feet for proposed new construction of a 645-square-foot pool, deck, and screen enclosure addition to an existing single-family residence in the Seagrove Planned Unit Development (PUD) on Lot 7, Seagrove St. Augustine Beach Unit 1, at 508 Weeping Willow Lane, St. Augustine Beach, Florida, 32080, in accordance with the documents and plans submitted in the variance application. **Moved** by Kevin Kincaid, **seconded** by Victor Sarris, **passed 6-0** by the Board by unanimous voice-vote.

VII. OLD BUSINESS

There was no old business.

VIII. BOARD COMMENT

There was no further Board comment.

IX. ADJOURNMENT

The meeting was adjourned at 6:24 p.m.

Kevin Kincaid, Chairperson

Bonnie Miller, Recording Secretary

(THIS MEETING HAS BEEN RECORDED IN ITS ENTIRETY. THE RECORDING WILL BE KEPT ON FILE FOR THE REQUIRED RETENTION PERIOD. COMPLETE AUDIO/VIDEO CAN BE OBTAINED BY CONTACTING THE CITY MANAGER'S OFFICE AT 904-471-2122).



City of St. Augustine Beach Building and Zoning Department

To: Comprehensive Planning and Zoning Board
From: Jennifer Thompson, Planner
CC: Brian Law, Director of Building & Zoning, Bonnie Miller, Senior Planner
Date: 09/12/2023
Re: Major Development Application File #2023-01

Major Development file #2023-01 is an application to replace the existing Publix grocery store located at 1033 A1A S. in the Anastasia Plaza owned by Regency Centers. The existing Publix will be demolished and replaced with a new 54,964 square foot building. Additionally, the parking lot will be improved in phases to keep businesses in the plaza operational during the rebuild process.

At the June 20, 2023, Planning and Zoning meeting, the board reviewed the Concept Review for the Publix rebuild and Anastasia Plaza remodel. During this meeting, the Planning and Zoning Board granted variances for this project which are attached.

St. Johns County Fire Department and St. Johns County Utilities have included comments regarding this project, and the applicants are aware of the requirements set forth by these agencies.

Sincerely,

Jennifer Thompson, CFM

Planner

Planning and Zoning Division



City of St. Augustine Beach Building and Zoning Department

To: Planning & Zoning Division
From: Brian Law, Director of Building & Zoning
Date: 09/12/2023
Re: 1033 A1A Beach Blvd. Final Development Order

The 2020 Florida Building Code has no objection to the requested remodel/rebuild of the Publix located in the Regency Plaza at 1033 A1A Beach Blvd. The Building Division will review the completed architectural and engineered plans upon submittal for a building permit.

Brian W. Law

Brian W. Law, CBO, CFM, MCP
Director of Building & Zoning



City of St. Augustine Beach

MEMORANDUM

TO: Bonnie Miller, Senior Planner

FROM: Jason D. Sparks, P.E., Engineering Director ^{JDS}

DATE: August 31, 2023

SUBJECT: Major Development Review for Publix Rebuild and Anastasia Plaza

Engineering reviewed the proposed grading and storm drainage and stormwater pollution prevention plan and offers the following:

- This is an existing privately owned and maintained drainage system permitted through the St. Johns River Water Management District (SJRWMD).
- Provide the approved SJRWMD permit modification and associated documentation reflecting proposed improvements.
- Indicate the pond outfall location on the plans.
- Upon completion, provide drainage system inspection results and construction certification of completion signed and sealed by a licensed professional engineer registered in the State of Florida.
- Ensure all roof drains, downspouts, associated piping and appurtenances conform with the latest edition of the Florida Plumbing Code.
- No objection to modifying, upgrading and rehabilitating the existing stormwater drainage system as per the SJRWMD permitted documents.

From: [Dawn Lyons](#)
To: [Jennifer Thompson](#)
Subject: Publix Reno -DRC
Date: Monday, August 28, 2023 1:58:37 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)
[image007.png](#)

CAUTION: This message originated from outside of your organization. Clicking on any link or opening any attachment may be harmful to your computer or the City. If you do not recognize the sender or expect the email, please verify the email address and any attachments before opening. If you have any questions or concerns about the content, please contact IT staff at IT@cityofsab.org.

Good afternoon,

Below are the rejected Fire comments. Please resubmit to Fire in person with 2 copies of the below comments, answered, signed and dated by the person that completes them along with 2 copies of any plan sheets that will need to be slip sheeted into the set we have here.

St. Johns County Fire Rescue Department
Fire Marshal Office
Plans Review Comment Sheet

Project Name Publix
Project Address 1033 A1A Beach Blvd.
Contractors Name
Contractors Phone Number
Sprinkler Contractor
Underground
Fire Alarm Contractor
FHID 13440

Plans Reviewed under Florida Uniform Fire Safety Standards or Florida Fire Prevention Code 7th edition.

To help speed the review process you may include a written comment response summary to clarify or illustrate where corrections were made on plans. Please remember to use the Florida Fire Prevention Code 7th Ed for all code reference in a response to comments. The fire plans examiner does not use or have a copy of the Florida Building Code.

Plans for the demolition of an existing Publix and some of the neighboring retail space, to re-build a slightly larger Publix. The existing store is 48,555sf with 55,663sf of retail. The proposed store is 54,964sf with 48,761 of retail.

1. Identify on the plans that the building will be provided with fire sprinklers.
2. How will egress be maintained for the existing occupancies while the concrete in front of the existing retail building is removed and replaced?

3. Please pass on to the design professional of the building an evaluation for a radio enhancement system is required for new buildings over 12,000 square feet and/or underground areas. NFPA 1:11.10 and NFPA 1225 (2022 ED.)
4. On utility plan, clearly label where public utility stops and beginning of point of service (POS) for private fire main in accordance with FS 633.102(24). (This is where main serves fire protection exclusively.)
5. On utility plan, place note: FDC shall be 5" Storz connection with 30 degree downward deflection.
6. Place this statement prominently on all utility pages:
This civil utility plan is provided for DRC (civil) review only. Approval of these plans do not include approval for private underground water main, hydrants, and fire sprinkler mains. Civil drawings illustrate layout only and do NOT show full compliance with the respective Fire Codes. For Fire Marshal underground permit, detailed shop drawings must be prepared and submitted by the installing underground fire contractor I, II or V showing complete compliance with, but not limited to, NFPA 24, (Standard for Installation of Private Fire Service Mains and their Appurtenances.)

Kindest regards,



Dawn Lyons

Administrative Assistant/Fire Permit Specialist

Fire Rescue/Fire Prevention

St. Johns County Board of County Commissioners

4040 Lewis Speedway, St. Augustine FL 32084

904-209-1712 | www.sjcfli.us

From: Chad J. Smith <cjsmith@sjcfl.us>
Sent: Monday, September 11, 2023 3:30 PM
To: Melissa Caraway <mcaraway@sjcfl.us>
Subject: RE: City of St. Aug Beach Publix plans

Missy,

Below are the comments for the St Augustine Beach Publix:

1. Provide existing square footage that will be demolished.
2. Provide arch/plumbing plans of new building.
3. Clarify ownership of new 1 & ½" water meter. This plaza is master metered so the new meter could be a privately owned meter to deduct usage from master meter. SJCUC does not allow publicly owned meters on private water mains.
4. Provide grease trap spec sheets for review by SJCUC Pre-treatment Dept.

Thank you,



Chad J Smith

Utility Review Specialist

Utilities Development Group

St. Johns County Board of County Commissioners

1205 SR 16, St. Augustine FL 32084

904-209-2632 | www.sjcfl.us



Florida has a very broad public records law. Most written communications to or from the St. Johns County Board of County Commissioners and employees regarding public business are public records available to the public and media through a request. Your e-mail communications may be subject to public disclosure. This communication may contain privileged and confidential information intended only for the addressee(s) named above. If you are not the intended recipient, you are hereby notified that any review, dissemination, distribution or duplication of this communication is strictly prohibited. If you are not the intended recipient, please notify the sender by reply email and destroy all copies of the original message.

**BEFORE THE COMPREHENSIVE PLANNING
AND ZONING BOARD OF THE
CITY OF ST. AUGUSTINE BEACH, FLORIDA**

In RE:

**APPLICATION OF PATRICK MCKINLEY, AGENT
FOR REGENCY CENTERS AND MCW-RC-FL-
ANASTASIA LLC, FOR A LAND USE VARIANCE
PERTAINING TO RECONFIGURATION OF THE
EXISTING ANASTASIA PLAZA SHOPPING
CENTER PARKING LOT IN A COMMERCIAL
LAND USE DISTRICT AT 1033 A1A BEACH BOULEVARD,
ST. AUGUSTINE BEACH, FLORIDA, 32080**

Public Records of St. Johns County, FL
Clerk number: 2023050382
BK: 5783 PG: 661
6/28/2023 2:45 PM
Recording \$18.50

ORDER APPROVING VARIANCE FILE NO. VAR 2023-10

This CAUSE came on for public hearing before the Comprehensive Planning and Zoning Board of the City of St. Augustine Beach, Florida, on Tuesday, June 20, 2023, upon Application (File No. VAR 2023-10) by Patrick McKinley, Agent for Regency Centers and MCW-RC-FL-Anastasia LLC, Applicant, for a land use variance for existing non-conforming uses for minimum parking space size of 9-feet-by-20 feet, per Section 6.03.05.B of the City of St. Augustine Beach Land Development Regulations, to 9.5-feet-by-18; reduction of the northern landscape buffer, per Section 6.06.04 of the City of St. Augustine Beach Land Development Regulations, to five (5) feet to accommodate the proposed new truck dock; and to lower the existing non-conforming impervious surface ratio (ISR) coverage but still exceed the maximum 70% ISR coverage allowed in a commercial land use district, per Section 6.01.02 of the City of St. Augustine Beach Land Development Regulations, for proposed reconfiguration of the existing Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, Parcel Identification Number 174200-0020, at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080. The Planning and Zoning Board having reviewed the Application, received public comments, and upon motion duly made, seconded and passed, the variance was approved based upon the following findings and subject to the following conditions:

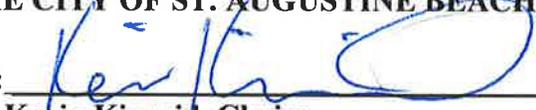
1. The required considerations for the granting of a variance as detailed in the Application and discussed at the hearing are incorporated herein as findings of fact, as a result of the finding that the hardship granted is due to the acquisition of the property preceding the adoption of the regulations from which the variance is sought, which shall act in favor of the granting of the variance per Section 10.02.03.B.4 of the City of St. Augustine Beach Land Development Regulations.

2. A land use variance shall be granted for the allowances as stated above for the proposed reconfiguration of the existing Anastasia Plaza shopping center parking lot on the property described above in a commercial land-use district at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, subject to the condition that a barrier fence be installed along the northern buffer area of the Anastasia Plaza property adjacent to Hammock Dunes Park.
3. A violation of the conditions listed above shall void the variance approval granted herein.

Any appeal of this decision may be made by filing an application for appeal to the St. Augustine Beach City Commission within thirty (30) days of the date of this Order.

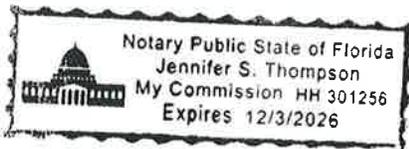
DONE AND ORDERED this 28 day of June, 2023, at St. Augustine Beach, St. Johns County, Florida.

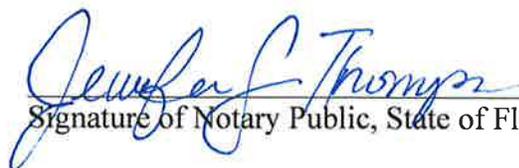
**COMPREHENSIVE PLANNING AND ZONING BOARD OF
THE CITY OF ST. AUGUSTINE BEACH, FLORIDA**

By: 
Kevin Kincaid, Chairperson

**STATE OF FLORIDA
COUNTY OF ST. JOHNS**

The foregoing instrument was acknowledged before me by means of **physical presence or**
 online notarization, this 28 day of June, 2023,
by (print name of person signing above) Kevin Kincaid,
who is personally known to me or has produced the following type of
identification _____

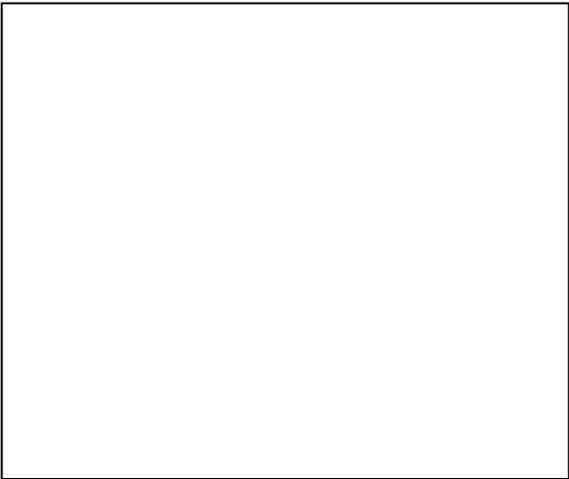



Signature of Notary Public, State of Florida

**BEFORE THE CITY COMMISSION OF
ST. AUGUSTINE BEACH, FLORIDA**

In RE:

**APPLICATION OF PATRICK MCKINLEY, AGENT
FOR REGENCY CENTERS AND MCW-RC-FL-
ANASTASIA LLC, FOR REBUILD OF THE PUBLIX
GROCERY STORE, 1033 A1A BEACH BOULEVARD,
ST. AUGUSTINE BEACH, FLORIDA, 32080, AND
RECONFIGURATION OF THE ANASTASIA PLAZA
SHOPPING CENTER PARKING LOT, 1001 A1A BEACH
BOULEVARD, ST. AUGUSTINE BEACH, FLORIDA,
32080**



FINAL DEVELOPMENT FILE NO. FD 2023-01

This CAUSE, pertaining to 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, Parcel Identification Number 174200-0020, PERTAINING TO PARCEL A, ALL THAT PORTION OF THE NORTH ONE-HALF AND THE SOUTH ONE-HALF OF GOVERNMENT LOT 1 AND GOVERNMENT LOT 2, SECTION 10, TOWNSHIP 8 SOUTH, RANGE 30 EAST, WHICH LIES BETWEEN COUNTY ROAD A1A BEACH BOULEVARD AND STATE ROAD A1A SOUTH, AND PARCEL B, THAT CERTAIN PIECE, PARCEL OR TRACT OF LAND BEING PART OF SECTION 10, TOWNSHIP 8 SOUTH, RANGE 30 EAST, PARCEL IDENTIFICATION NUMBER 174200-0020, AS RECORDED IN THE PUBLIC RECORDS OF ST. JOHNS COUNTY, FLORIDA, came before the City of St. Augustine Beach Comprehensive Planning and Zoning Board on the 19th day of September, 2023, and before the St. Augustine Beach City Commission on the 2nd day of October, 2023, upon Application of Patrick McKinley, Agent for Regency Centers, Jacksonville, Florida, and MCW-RC-FL-Anastasia LLC, San Antonio, Texas, Applicants, for review and final development approval for major development, per Sections 12.02.05--12.02.13 of the City of St. Augustine Beach Land Development Regulations, for the property described above in a commercial land use district at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, for the demolition of the existing 48,555-square-foot Publix grocery store to be rebuilt as a 54,964-square-foot Publix grocery store and reconfiguration of the existing Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, subject to compliance with Land Use Variance File No. VAR 2023-10, granted for existing non-conforming uses for minimum parking space size; reduction of the northern landscape buffer to accommodate the proposed new truck dock; and to maintain but lower the existing non-conforming impervious surface ratio coverage, per Sections 6.03.05.B, 6.06.04, and 6.01.02, respectively, of the City of St. Augustine Beach Land Development Regulations. The Comprehensive Planning and Zoning Board and the City Commission, having reviewed and considered the Application, the report of the Building and Zoning Department, the testimony, statements, and evidence presented before the Comprehensive Planning and Zoning Board and the City Commission by the Applicants and the Applicants' Authorized Agent and other persons speaking at the public hearings, including public comments, and the City Commission finding it has jurisdiction over this proceeding and that the required notices have been provided and were afforded to all parties, upon motion duly made, seconded and passed, the Application was approved and determined as follows:

FINDINGS OF FACT

The Comprehensive Planning and Zoning Board and City Commission find that the Application for Final Development File No. FD 2023-01 for the demolition of the existing 48,555-square-foot Publix grocery store to be rebuilt as a 54,964-square-foot Publix grocery store and reconfiguration of the existing Anastasia Plaza shopping center parking lot to create additional parking spaces for the shopping center, subject to compliance with Land Use Variance File No. VAR 2023-10, granted for existing non-conforming uses for minimum parking space size; reduction of the northern landscape buffer to accommodate the proposed new truck dock; and to maintain but lower the existing non-conforming impervious surface ratio coverage, per Sections 6.03.05.B, 6.06.04, and 6.01.02, respectively, of the City of St. Augustine Beach Land Development Regulations, at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, conforms to all applicable provisions of the City of St. Augustine Beach Comprehensive Plan, and, except as may be required to be cured herein, with all applicable City of St. Augustine Beach Land Development Regulations.

The application and accompanying documents submitted for Final Development File No. FD 2023-01 demonstrate the proposed final development plans for major development at the above-referenced property do not degrade the prescribed Levels of Service for the City of St. Augustine Beach and/or any interlocal agreement with St. Johns County concerning services or capacities which affect consistency and concurrency determinations.

Subject to the conditions hereinafter set forth, it is determined that this Final Development Order File No. FD 2023-01, prepared for the Final Development Application File No. FD 2023-01, submitted by Regency Centers, Jacksonville, Florida, and MCW-RC-FL-Anastasia LLC, San Antonio, Texas, as represented by its Authorized Agent Patrick McKinley, Regency Centers, Jacksonville, Florida, for final development approval for major development, per Sections 12.02.05--12.02.13 of the City of St. Augustine Beach Land Development Regulations, unless modified by a subsequent final development order, is approved for the parcel of land as described above at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080, and shall not be effective except upon ratification of each and every one of the following conditions.

ORDERED as follows:

1. Nothing contained herein shall be deemed to waive the requirement that the proposed final development plans for major development on the parcel of land as described above at 1001 and 1033 A1A Beach Boulevard comply with current State of Florida Building Codes and conform to all applicable provisions of the City of St. Augustine Beach Comprehensive Plan and the City of St. Augustine Beach Land Development Regulations, with the exception of the variance approval granted per Land Use Variance File No. VAR 2023-10 for the subject property, and the provisions of all other applicable agencies.
2. Production of evidence satisfactory to the Building Official of receipt by the Applicant of permits deemed necessary allowing development in accordance with this Final Development Order and accompanying drawings, if required, from the Army Corps of Engineers, the Florida Department of Environmental Protection, St. Johns River Water Management District, St. Johns County Fires Services, and St. Johns County Utility Department, shall be issued and in effect prior to the issuance of any permits for the parcel of land as described above at 1001 and 1033 A1A Beach Boulevard, St. Augustine Beach, Florida, 32080.

3. Essential services such as electricity, telephone, cable and other communication lines and street lighting must be in place prior to issuance of any Certificate of Occupancy for the subject property development. Water and sewer connection fees shall be paid and in place prior to the issuance of any building permits. Screening of any utility apparatus placed above ground shall be required. Fire hydrants shall also be in place prior to issuance of any building permits.
4. Applicant/Owner shall undertake measures to protect trees and environmentally sensitive areas by providing protective barriers prior to and during all development activities immediately adjacent to the right-of-way and utility easements and the issuance of any infrastructure or utility permits. Clearing and/or tree removal permits will not be issued prior to acceptance of a completed application for a building permit for site work.
5. Applicant/Owner shall be responsible for all repairs of curbs and/or damage to City of St. Augustine Beach, St. Johns County, and Florida Department of Transportation roadways.
6. This Final Development Order shall be effective for a period of five (5) years from its effective date, at which time the applicant/owner shall have completed one hundred (100%) percent of all development construction on the site.
7. Successors and assigns of the Applicant/Owner shall be bound by the terms and conditions of this Final Development Order. However, persons acquiring property do so with notice that although under appropriate circumstances, owners of property have vested rights, changes in the City of St. Augustine Beach Land Development Regulations affecting use would not be acquired under the transfer of ownership.
8. Any appeal of this decision may be made by filing an application for appeal to the St. Johns County Circuit Court within thirty (30) days of the date of this Order.

DONE AND ORDERED this _____ day of _____, 2023, at St. Augustine Beach, St. Johns County, Florida.

**CITY COMMISSION OF THE CITY OF
ST. AUGUSTINE BEACH, FLORIDA**

Attest: _____
Max Royle, City Manager

By: _____
Donald Samora, Mayor

THIS ORDER IS SUBJECT TO APPEAL PER THE PROVISIONS OF SECTION 12.06.04 OF THE CITY OF ST. AUGUSTINE BEACH LAND DEVELOPMENT REGULATIONS.

Sec. 12.06.04.C. *“Appeals from the decision of the City Commission shall be appealed to the circuit court.”*

City of St. Augustine Beach Building and Zoning Department
 Major Development Application
 2200 A1A SOUTH, ST. AUGUSTINE BEACH, FLORIDA 32080
WWW.STAUGBCH.COM BLDG. & ZONING (904)471-8758 FAX (904) 471-4470

1. Legal description of the parcel for which major development is being sought:

Lot(s) _____ Block(s) _____ Subdivision _____

Street Address 1033 A1A Beach Blvd, St. Augustine, FL 32080

2. Location (N, S, W, E): West Side of (Street Name): A1A Beach Blvd

3. Is the property seaward of the Coastal Construction Control Line (CCCL)? Yes No (Circle one)

4. Real estate parcel identification number: 1742000020

5. Name and address of owner(s) as shown in St. Johns County Public Records: _____

MCW-RC-FL-Anastasia, LLC

One Independent Dr, Suite 114, Jacksonville, FL 32202

6. Current land use classification: Commercial

7. Section of land use code from which major development is being sought: Land Development Regulations

Sections 12.02.05--12.02.15

8. Reasons for which major development is being sought: Replacing the existing grocery store with a newer and better building to serve the community, improved parking and look of the shopping center.

9. Architect's name and address: Fisher Architects 2315 Belleair Rd. Clearwater, FL 33764

10. Contractor's name and address: TBD

11. Please check if the following information required for submittal of the application has been included:

Survey including legal description of parcel submitted for major development

Copy of warranty deed

Owner Authorization Form (if applicable)

List of names and addresses of all property owners within 300-foot radius (see instructions on page 4 of this application)

First-class postage-stamped legal-size envelopes with names and addresses of all property owners within 300-foot radius (see instructions on page 4 of this application)

Survey to include all existing structures and fences

Other documents or relevant information to be considered

Fourteen (14) copies of the completed application including supplemental documentation and/or relevant information

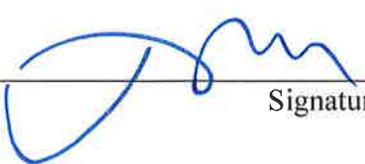
In filing this application for major development, the undersigned acknowledges it becomes part of the official record of the Comprehensive Planning and Zoning Board and/or City Commission and does hereby certify that all information contained is true and accurate, to the best of his/her knowledge.

The application must be signed by either the owner or the owner's authorized agent. If an authorized agent's signature is used, a notarized written authorization approving such representation must accompany the application.

Patrick McKinley

Print name (owner or his/ her agent)

Print name (applicant or his/her agent)

 / 08/18/23

Signature /date

Signature /date

One Independent Dr, Suite 114, Jacksonville, FL 32202

Owner/agent address

Applicant/agent address

904-598-7000

Phone number

Phone number

****All agents must have notarized written authorization from the property owner(s)****

**** Please note that if you are a resident within a development or subdivision that has covenants and restrictions, be aware that approval of this application by the Comprehensive Planning and Zoning Board and/or City Commission does not constitute approval for variation from the covenants and restrictions.****

Major Development File #: 2023-01

Applicant's name: MCW-RC-FL-Anastasia, LLC

Applicant's address: One Independent Dr, Suite 114, Jacksonville, FL 32202

Applicant's phone number and email address: 904-598-7000 patrickmckinley@regencycenters.com

For major development at: 1033 A1A Beach Blvd, St. Augustine, FL 32080

Fee Schedule for Major Development Application

Major Development Application Fee:	\$350.00 if under 2 acres/\$500.00 if 2 acres or more
Legal Notice Sign:	\$10.00
Review of Preliminary Plat:	\$150.00 plus \$2.00 per lot with a \$400.00 minimum
Final Plat Approval:	\$5.00 per lot plus the cost of conformity with Chapter 177 F.S. by a professional surveyor and mapper either employed by or under contract to the City of St. Augustine Beach. The estimated cost shall be deposited with the City at the time of application and any costs in excess of the estimated amounts shall be paid by the applicant prior to execution of the plat by the City.

App # 7693

Amount Paid 510.00 Date 08-21-2023

Invoice # I2303312 Received by Jennifer Thompson

Check # or type of credit or debit card payment VISA

Instructions for Applying for Major Development

- 1) Per Section 12.02.06, all major developments, per the criteria in Section 12.02.05 of the City's Land Development Regulations (LDRs), must be submitted to concept review. The applicant/developer shall file a completed application and a concept plan as a prerequisite to obtaining major development approval.
- 2) All major development shall be reviewed by the Comprehensive Planning and Zoning Board for recommendation of approval or denial to the City Commission, based on determination of whether the plan satisfies the requirements of the City's LDRs, with the final hearing and final determination of approval or denial to be made by the City Commission.
- 3) The major development application shall be placed on the agenda of the next meeting of the Comprehensive Planning and Zoning Board that allows the giving of required notice. Notification of all property owners within a radius of 300 feet of the property for which major development is being sought shall be mailed by the Building and Zoning Department. The St. Johns County Real Estate/Survey Department (telephone number 904-209-0804) will provide applicants with a list of the names and addresses of the property owners within 300 feet of the property for which major development is requested. **This list of names and addresses of all property owners within 300 feet is to include the applicant's name and address. Along with the list of all property owners within 300 feet, the applicant shall submit stamped, addressed legal-size (4-inch-by-9½-inch) envelopes with the major development application. (Note: Do not fill in a return address on the stamped envelopes. The Building and Zoning Department will stamp its address on the envelopes as the return address and mail the legal notices to all property owners).** Signatures and approvals of property owners within 300 feet are not necessary.
- 4) After review and recommendation to the City Commission of approval or denial by the Comprehensive Planning and Zoning Board, the major development applications shall be placed on the agenda of the next meeting of the City Commission, with the final hearing and final determination of approval or denial to be made by the City Commission.

Required Information for Major Development Application

Per Section 12.02.07.D of the City's LDRs, final development plans for major development shall include the information required in a preliminary (concept) plan plus the following additional or more detailed information:

- 1) *Existing conditions.*
 - a. A map of vegetative cover including the location and identity by common name of all protected trees, including existing protected trees within areas of proposed improvements.
 - b. A topographic map of the site clearly showing the location, identification, and elevation of benchmarks, including at least one (1) benchmark for each major water control structure.
 - c. A detailed overall project area map showing existing hydrography and runoff patterns, and the size, location, topography, and land use of any off-site areas that drain onto, through or from the project area.

- d. Existing surface water bodies, wetlands, streams and canals within the proposed development site, including seasonal high water-table elevations and attendant drainage areas for each.
- e. The location of any underground or overhead utilities, culverts and drains on the property and within one-hundred (100) feet of the proposed development boundary.
- f. Location, names and widths of existing and proposed streets, highways, easements, building lines, alleys, parks, and other public spaces and similar facts regarding adjacent property.
- g. The one-hundred (100) year flood elevation, minimum required floor elevation and boundaries of the one-hundred (100) year floodplain for all parts of the proposed development.
- h. Drainage basin or watershed boundaries identifying locations of the routes of off-site waters onto, through or around the project.

2) *Proposed development activities and design.*

a. *Generally.*

- 1. Area and percentage of total site to be covered by an impervious surface.
- 2. Grading plans specifically including perimeter grading.
- 3. Construction phase lines.

b. *Buildings and other structures.*

- 1. Building plan showing the location, dimensions, gross floor area, and proposed use of buildings.
- 2. Front, rear and side architectural elevations of all buildings.
- 3. Building setback distances from property lines, abutting right-of-way center lines, and all adjacent buildings and structures.
- 4. Minimum floor elevations of buildings within any one-hundred (100) year floodplain.
- 5. The location, dimensions, type, composition, and intended use of all other structures.

c. *Potable water and wastewater systems.*

- 1. Proposed location and sizing of potable water and wastewater facilities to serve the proposed development, including required improvements or extensions of existing off-site facilities.
- 2. The boundaries of proposed utility easements.
- 3. Location of the nearest available public water supply and wastewater disposal system and the proposed tie-in points, or an explanation of alternative systems to be used.
- 4. Exact locations of on-site and nearby existing and proposed fire hydrants.

d. *Streets, parking and loading.*

- 1. The layout of all streets and driveways with paving and drainage plans and profiles showing existing and proposed elevations and grades of all public and private paved areas.
- 2. A parking and loading plan showing the total number and dimensions of proposed parking spaces, spaces reserved for handicapped parking, loading areas, proposed ingress and egress (including proposed public street
- 3. The location of all exterior lighting.
- 4. The location and specifications of any proposed garbage dumpsters.
- 5. Cross sections and specifications of all proposed pavement.
- 6. Typical and special roadway and drainage sections and summary of quantities.

- e. *Tree removal and protection.*
 - 1. All protected trees to be removed and a statement of why they are to be removed.
 - 2. Proposed changes in the natural grade and any other development activities directly affecting trees to be retained.
 - 3. A statement of the measures to be taken to protect the trees to be retained.
 - 4. A statement of tree relocations and replacements proposed.
- f. *Landscaping.*
 - 1. Location and dimensions of proposed buffer zones and landscaped areas.
 - 2. Description of plant materials existing and to be planted in buffer zones and landscaped areas.
- g. *Stormwater management.*
 - 1. An erosion and sedimentation control plan that describes the type and location of control measures, the stage of development at which they will be put into place or used, and maintenance provisions.
 - 2. A description of the proposed stormwater management system, including:
 - (a) Channel, direction, flow rate, and volume of stormwater that will be conveyed from the site, with a comparison to natural or existing conditions.
 - (b) Detention and retention areas, including plans for the discharge of contained waters, maintenance plans, and predictions of surface water quality changes
 - (c) Areas of the site to be used or reserved for percolation including an assessment of the impact on groundwater quality.
 - (d) Location of all water bodies to be included in the surface water management system (natural and artificial) with details of hydrography, side slopes, depths, and water-surface elevations or hydrographs.
 - (e) Linkages with existing or planned stormwater management systems.
 - (f) On and off-site rights-of-way and easements for the system including locations and a statement of the nature and of the reservation of all areas to be reserved as part of the stormwater management system.
 - (g) The entity or agency responsible for the operation and maintenance of the stormwater management system.
 - 3. The location of off-site water resource facilities such as works, surface water management systems, wells, or well fields, that will be incorporated into or used by the proposed project, showing the names and address of the owner of the facilities.
 - 4. Runoff calculations shall be in accord with the stormwater management manual.
- h. *Environmentally sensitive lands.*
 - 1. The exact sites and specifications for all proposed drainage, filling, grading, dredging, and vegetation removal activities including estimated quantities of excavations or fill materials computed from cross sections, proposed within a protected environmentally sensitive zone.
 - 2. Detailed statement of other materials showing the following:
 - (a) The percentage of the land surface of the site that is covered with natural vegetation and the percentage of natural vegetation that will be removed by development.
 - (b) The distances between development activities and the boundaries of the protected environmentally sensitive zones.
 - 3. The manner in which habitats of endangered and threatened species are protected.

i. *Signs.*

1. Two (2) blueprints or ink drawings of the plans and specifications of regulated signs, and method of their construction and attachment to the building or ground, except those plans for standard signs that have been placed on file with the building official by a licensed sign contractor for standard signs. The plans shall show all pertinent structural details, wind pressure requirements, and display materials in accordance with the requirements of this Code and the building and electrical codes adopted by St. Augustine Beach. The plans shall clearly illustrate the type of sign or sign structure as defined in this Code; the design of the sign, including dimensions, colors and materials; the aggregate sign area; the dollar value of the sign; maximum and minimum heights of the sign; and sources of illumination.
2. For regulated ground signs, a plan, sketch, blueprint, blueline print or similar presentation drawn to scale which indicates clearly:
 - (a) The location of the sign relative to property lines, rights-of-way, streets, alleys, sidewalks, vehicular access and parking areas and other existing ground signs on the parcel.
 - (b) All regulated trees that will be damaged or removed for the construction and display of the sign.
 - (c) The speed limit on adjacent streets.
3. For regulated building signs, a plan, sketch, blueprint, blueline print or similar presentation drawn to scale which indicates clearly:
 - (a) The location of the sign relative to property lines, rights-of-way, streets, alleys, sidewalks, vehicular access and parking areas, buildings and structures on the parcel.
 - (b) The number, size, type, and location of all existing signs on the same parcel, except a single business unit in a multiple occupancy complex shall not be required to delineate the signs of other business units.
 - (c) A building elevation or other documentation indicating the building dimensions.

j. *Subdivision.*

Proposed number, minimum area and location of lots, if development involves a subdivision of land.

k. *Land use and dedications.*

1. Location of all land to be dedicated or reserved for all public and private uses including rights-of-way, easements, special reservations, and the like.
2. Amount of area devoted to all existing and proposed land uses, including school, open space, churches, residential and commercial, as well as the location thereof.
3. The total number and type of residential units categorized according to number of bedrooms. The total number of residential units per acre (gross density) shall be given.

l. *Wellfield protection.*

Location of onsite wells, and wells within one-thousand (1,000) feet of any property line, exceeding one-hundred-thousand (100,000) gallons per day.

m. *Historic and archaeologic sites.*

The manner in which historic and archaeologic sites on the site, or within one-thousand (1,000) feet of any boundary of the site, will be protected.

Per Section 12.02.07.E of the City's Land Development Regulations, final development plans for subdivision of land shall comply with the requirements of this section. Per Section 12.02.07.F of the City's Land Development Regulations, final development plans for commercial structures requires the front, rear and side architectural elevations for commercial structures to demonstrate compliance with the following criteria:

- 1) The plan for the proposed structure or project is in conformity with good taste, good design, and in general contributes to the image of the City as a place of beauty, spaciousness, harmony, taste, fitness, broad vistas and high quality.
- 2) The proposed structure or project is not, in its exterior design and appearance, of inferior quality such as to cause the nature of the local environment or evolving environment to materially depreciate in appearance and value.
- 3) The proposed structure is in conformity with the standards of these Land Development Regulations and other applicable ordinances in so far as the location and appearance of the buildings and structures are involved. Conditions may be applied when the proposed building of structure does not comply with the above criteria and shall be such as to bring the structure or project into conformity. If any application is disapproved, the Comprehensive Planning and Zoning Board shall detail in its findings the criterion or criteria that are not met. The actions taken by the Board shall be reduced to writing, signed by the chairman and a copy thereof made available to the applicant upon request.
- 4) The proposed structure or project is in harmony with the proposed developments in the general area, with the Comprehensive Plan for the City and with the criteria set forth in any supplemental criteria and procedural rules of the Comprehensive Planning and Zoning Board, as the same may be from time to time amended and revised. Any decision of the Board must comply with such supplemental criteria and rules of the Board may be amended from time to time by ordinance regularly adopted upon action initiated by the City Commission.
- 5) The proposed landscape and irrigation design shall promote water conservation. Water requirements may be reduced by providing for:
 - a. Preservation and reestablishment of native plant communities.
 - b. The use of drought-tolerant, site specific, and shade producing plants.
 - c. Design and maintenance of irrigation systems which eliminate waste of water due to over application or loss from damage.
- 6) Renovations to the exterior of a commercial structure shall comply with the criteria and supplemental criteria for Community Appearance Standards; provided, however, than an application for final development approval for a renovation of an existing structure shall only require such information as may reasonably be required by the Building Department or the Comprehensive Planning and Zoning Board to demonstrate compliance with the criteria and supplemental criteria for Community Appearance Standards and shall not be required to provide information as to areas not proposed for renovation except as provide for an understanding of the proposed changes or alterations to the structure.
- 7) Definitions. As used in this section 12.02.07.F and as used in the Supplemental Criteria for Community Appearance Standards, the following terms and phrases shall have the meanings indicated:

Commercial structure shall mean a structure located within a commercially zoned area regardless of its actual size.

Renovation shall mean a change or alteration to a material element of a structure that changes or alters (a) a major structural or architectural feature of a building including changes to roof lines, porches, location or size of windows or doors; or (b) the exterior of a building requiring the submittal of plans signed and signed by a registered architect or engineer.

Per Section 12.02.08 of the City's Land Development Regulations, a master plan for the entire development site must be approved for a major development that is to be developed in phases. The master plan shall be submitted simultaneously with an application for review of the final development plan for the first phase of the development and must be approved as a condition of approval of the final plan for the first phase. A final development plan must be approved for each phase of the development under the procedures for development review prescribed above.

Per Section 12.02.09 of the City's Land Development Regulations, a master plan is required for a major development which is to be developed in phases. A master plan shall provide the following information for the entire development as specified in this section. Review of final development plans for major developments shall comply with Section 12.02.10.

Per Section 12.02.10.B, *Amendment to final development plans*, "If a major development has received a final development order or other approval, the amendment, modification or extension of such a final development order or approval shall only be by the same process as the order or approval was originally obtained (except that the concept review process does not have to be repeated) and the review fee shall also be the same. For Planned Unit Developments, strikethrough and underlined sections of the proposed changes shall be submitted. Expired final development orders are not eligible for renewal."

Per Section 12.02.13, each administrative hearing shall conform to the following procedures, as supplemented by law, rule or decision.

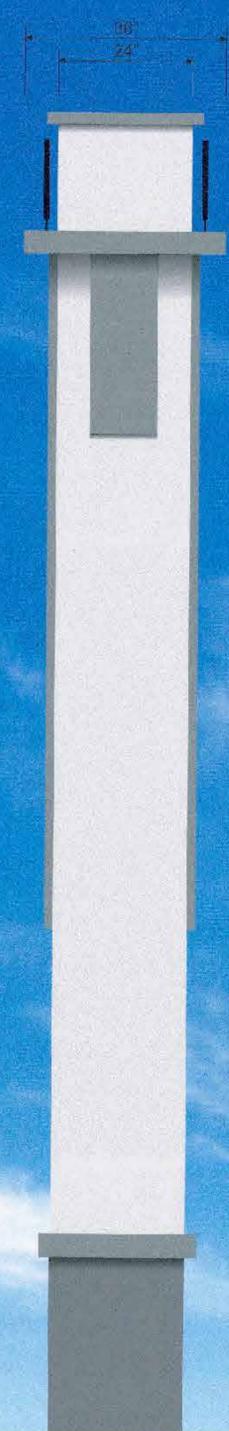
- A. *Burden and nature of proof.* The applicant for any development permit must prove that the proposal satisfies the applicable requirements and standards of this Code.
- B. Order of proceedings.
 1. The Comprehensive Planning and Zoning Board and City Commission shall:
 - a. Determine whether it has jurisdiction over this matter.
 - b. Determine whether any member must abstain or is disqualified. Abstaining from voting or disqualification because of conflict of interest must be declared in accordance with Part III of
 - c. Chapter 112, Florida Statutes.

Where proposed minor or major development includes the subdivision of land, platting shall conform to the requirements of Section 12.02.14 of the City's LDRs. Final approval of the development plan by the Comprehensive Planning and Zoning Board shall be made contingent upon approval by the St. Augustine Beach Commission of a plat conforming to the development plan.

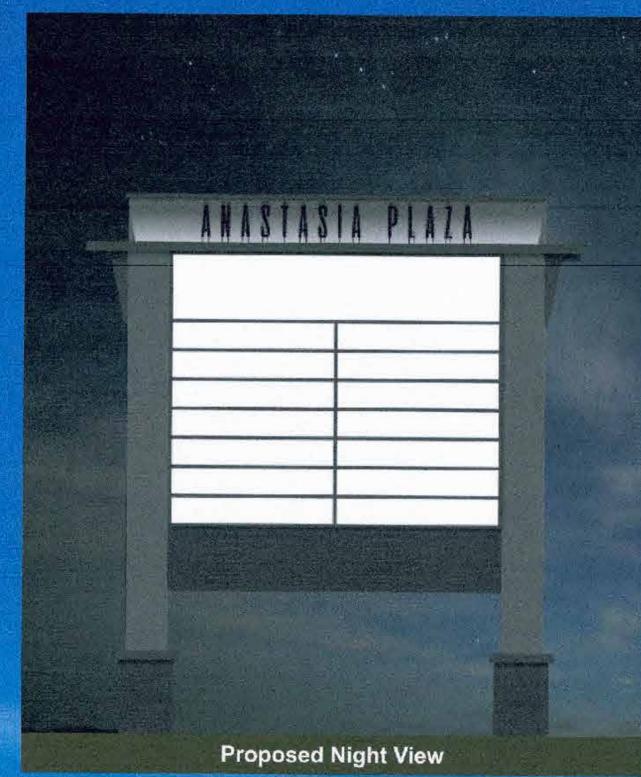
Refurbish existing D/F internally illuminated pylon sign. Existing pylon to new fabricated aluminum elements added to top portion of sign.
 New 1" thick routed acrylic letters pin mounted off horizontal embellishment.
 External upwards illumination by white L.E.D.s. Existing tenant cabinet to receive new L.E.D. illumination. Bottom portion of cabinet to receive new fabricated aluminum "slat" elements. Pole covers to be repainted.



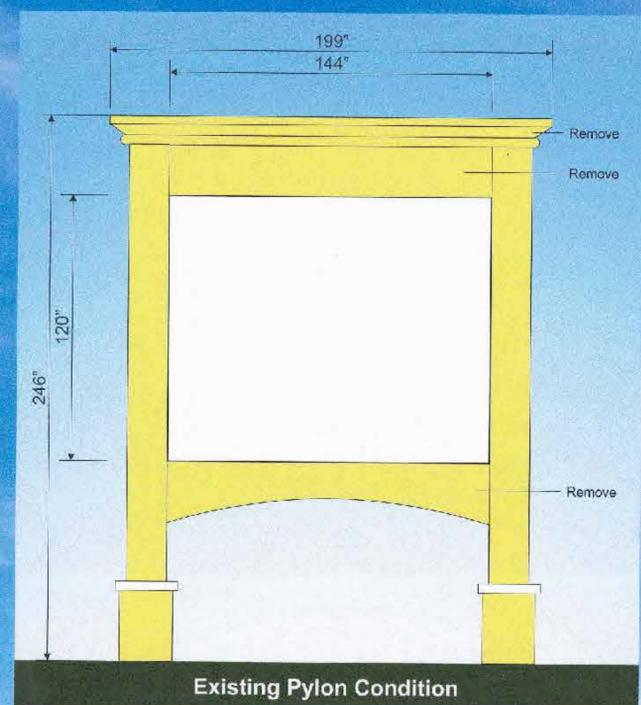
Front Elevation - Illuminated Pylon Sign | 3/8" = 1'-0"



End View - Illuminated Pylon Sign | 3/8" = 1'-0"



Proposed Night View



Existing Pylon Condition

- Paint to match SW 7004 Snow Bound
- Paint to match Slate Gray
- Paint to match Musket Gray



1282 Energy Cove Ct.
 Green Cove Springs, FL 32043
 904-529-7446
 904-529-1567 fax

Client:
 Anastasia Plaza
 St. Augustine, FL
 Origin Date: 03.17.23

DWG NAME:
 ANP100-00

Revision:
 00.00.23

Salesperson: C. Knight
 Drawn By: T. Beach

Client Approval/Date: _____

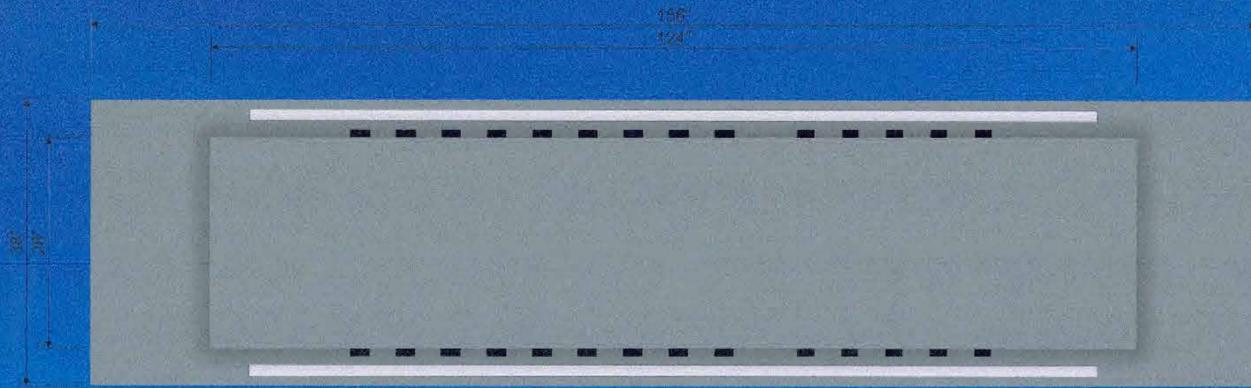
Landlord Approval/Date: _____

Notes:



Burn rate on plastic as measured by ASTM D-635 is 1.8 inches per minute

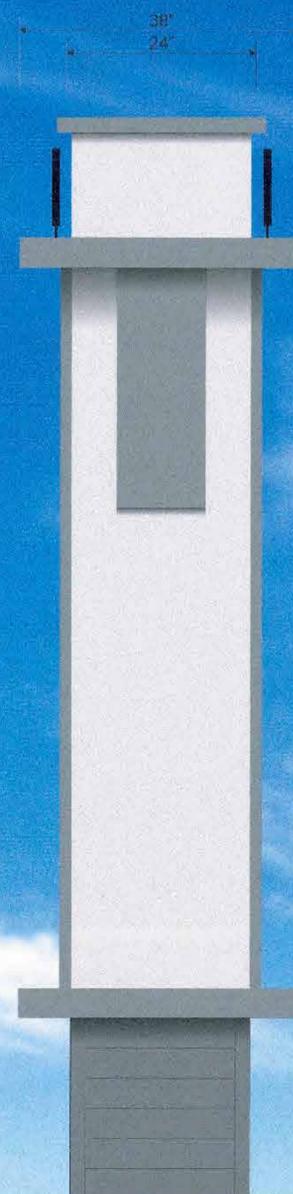
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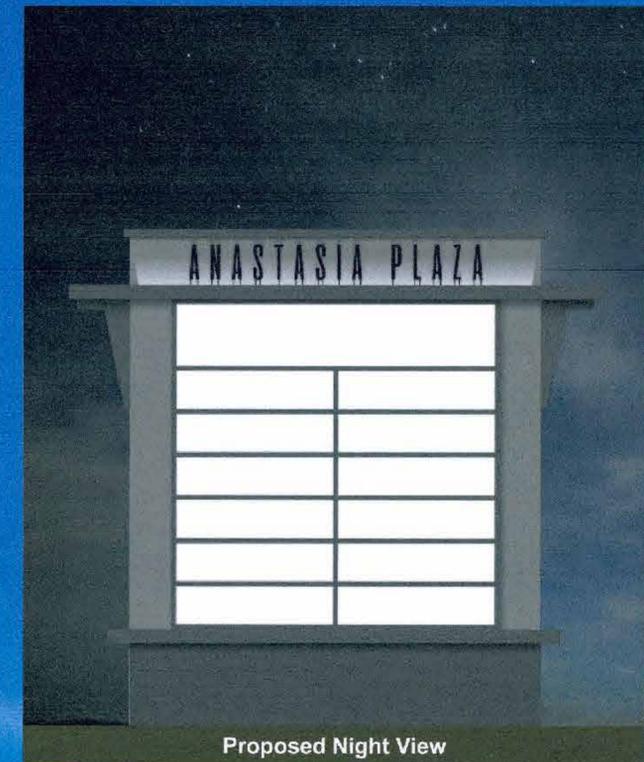
Plan View



Front Elevation - Illuminated Pylon Sign 1/2" = 1'-0"

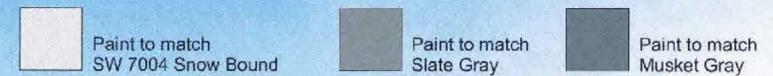


End View - Illuminated Pylon Sign 1/2" = 1'-0"



Proposed Night View

D/F internally illuminated pylon sign with .063" aluminum skin over 2" x 2" aluminum tube frame. 1" thick routed acrylic letters pin mounted off horizontal embellishment. Sign to have 8' x 8' D/F illuminated tenant cabinet with 1 1/2" T-bar dividers. 1" thick routed acrylic letters pin mounted off horizontal embellishment. External upwards illumination by white L.E.D.s. Sign to have automotive grade painted finish and installed with single steel support pole into concrete footer.



1282 Energy Cove Ct.
Green Cove Springs, FL 32043
904-529-7446
904-529-1567 fax

Client:
Anastasia Plaza
St. Augustine, FL
Origin Date: 03.17.23

DWG NAME:
ANP100-00

Revision:
00.00.23

Salesperson: C. Knight
Drawn By: T. Beach

X
Client Approval/Date: _____

X
Landlord Approval/Date: _____

Notes:



Burn rate on plastic as measured by ASTM D-635 is 1.8 inches per minute

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PUBLIX FRONT ELEVATION

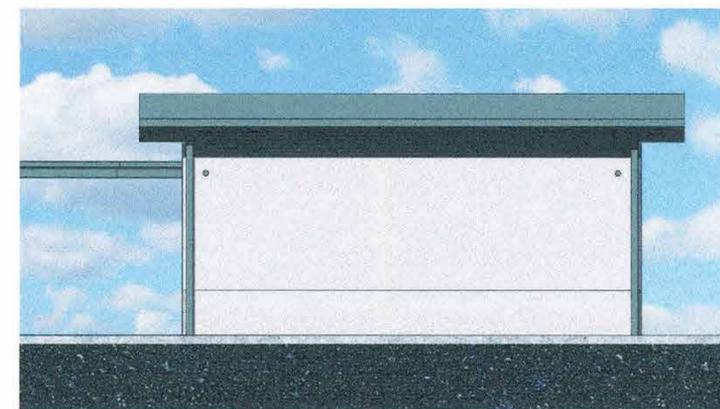
SIGNAGE REQUIREMENTS

PROVIDED: PUBLIX: 187.05 BOXED SF

Frontage	Number	Maximum Square Footage
0-49 feet	3	100
50-100 feet	4	150
Over 100 feet	5	200



KIOSK FRONT ELEVATION



KIOSK REAR ELEVATION

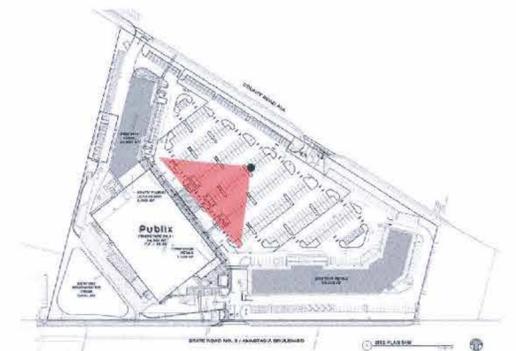


KIOSK RIGHT ELEVATION



KIOSK LEFT ELEVATION

	PAINT SW 7004 SNOW BOUND		PAINT SW 9548 SWEATER WEATHER		PAINT SW 9553 ALLEGORY		METAL PAC CLAD SLATE GRAY		METAL PAC CLAD MUSKET GRAY		BRICK GLEN GARY CHARLES - TON		WOOD KNOTWOOD CHESTNUT
--	--	--	---	--	-------------------------------------	--	---	--	--	--	---	--	-------------------------------------

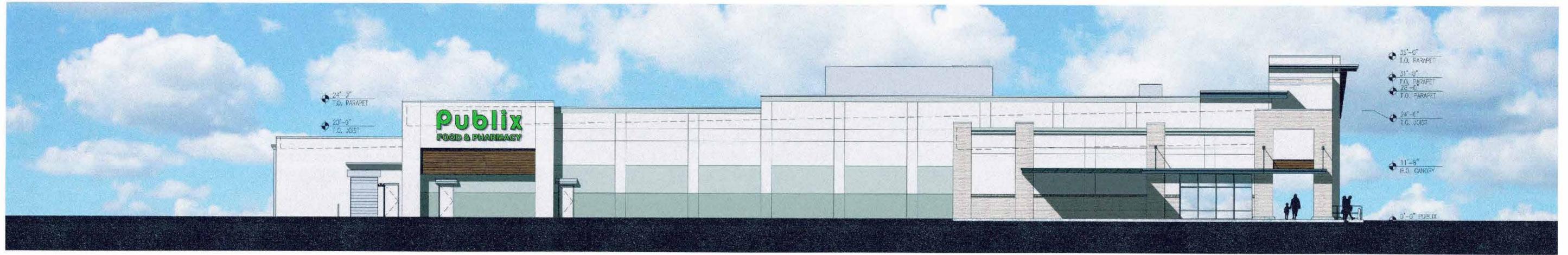


ANASTASIA PLAZA PUBLIX
DESIGN DEVELOPMENT

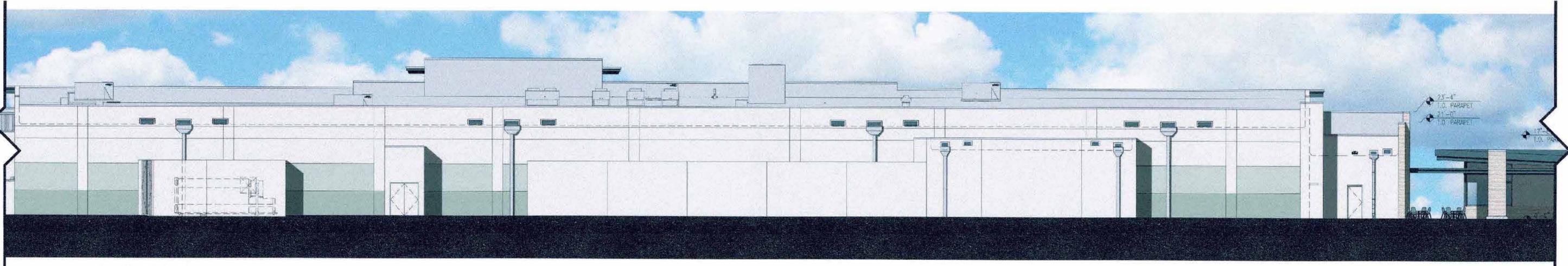
ST. AUGUSTINE, FL

08.18.2023

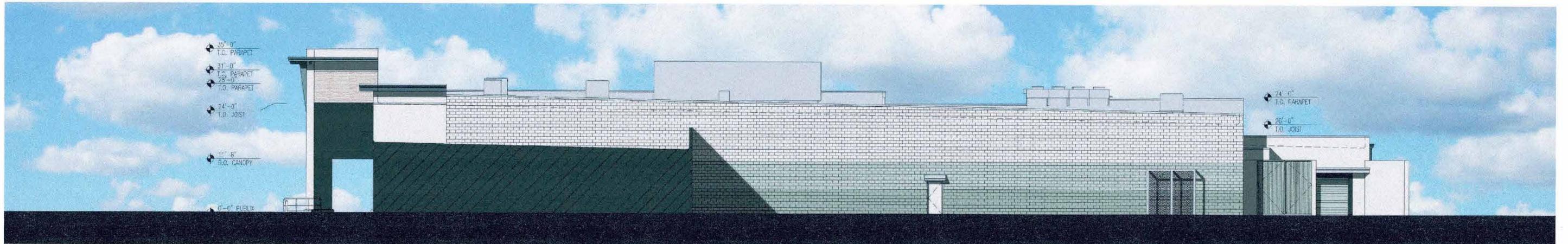




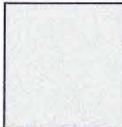
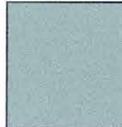
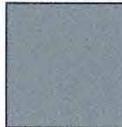
PUBLIX LEFT ELEVATION



PUBLIX REAR ELEVATION



PUBLIX RIGHT ELEVATION

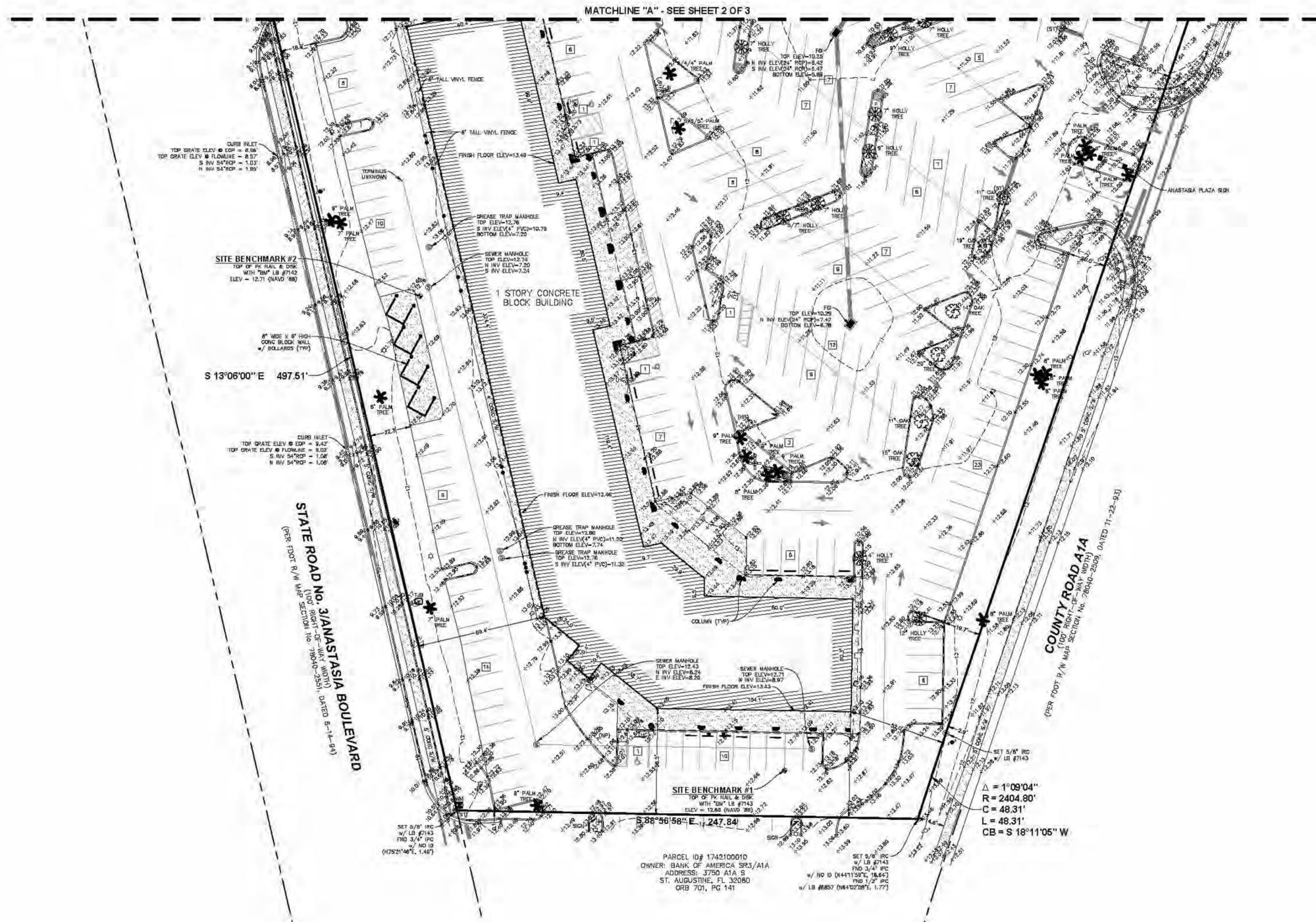
	PAINT SW 7004 SNOW BOUND		PAINT SW 9548 SWEATER WEATHER		PAINT SW 9553 ALLEGORY		METAL PAC CLAD SLATE GRAY		METAL PAC CLAD MUSKET GRAY		BRICK GLEN GARY CHARLES - TON		WOOD KNOTWOOD CHESTNUT
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ANASTASIA PLAZA PUBLIX
DESIGN DEVELOPMENT

ST. AUGUSTINE, FL

08.18.2023





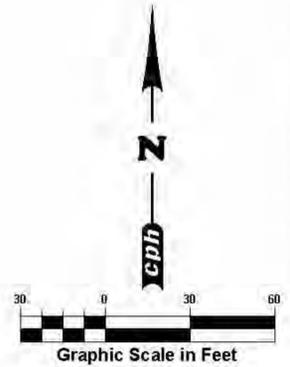
MATCHLINE "A" - SEE SHEET 2 OF 3

S 13°06'00" E 497.51'

S 38°56'58" E 247.84'

Δ = 1°09'04"
R = 2404.80'
C = 48.31'
L = 48.31'
CB = S 18°11'05" W

PARCEL ID# 1742100010
OWNER: BANK OF AMERICA SR3/A1A
ADDRESS: 3750 A1A S
ST. AUGUSTINE, FL 32080
ORB 701, PG 141



Field Crew	D.A.S.	No.	Date
Drawn by: B.L.R.	Δ		
Checked by: R.L.R.	Δ		
Approved by: J.W.P.	Δ		
Scale: 1"=30'	Δ		
Date: 02/01/18	Δ		
Job No.: R9114.1	Δ		
File: 89144.dwg	Δ		

Survey Prepared by:
CPH, Inc.
598 West Fulton St.
Sanford, FL 32771
Ph: 407.322.6841
License:
Eng. C.O.A. No. 3215
Survey L.B. No. 7143
Arch. Lic. No. AA068026
Landscape Lic. No. LC988026

BOUNDARY & TOPOGRAPHIC SURVEY
ALSO BEING AN
(ALTA/NSPS LAND TITLE SURVEY)
REGENCY CENTERS
1001 A1A (BEACH BOULEVARD)
SECTION 10-TOWNSHIP 8 SOUTH-RANGE 30 EAST
CITY OF ST. AUGUSTINE, ST. JOHNS COUNTY, FLORIDA

NOTE:
THIS SURVEY IS NOT VALID WITHOUT SHEETS 1 THROUGH 4 OF 4.

TITLE BLOCK RESERVATIONS
Eng = ENGINEERING L.B. = LICENSED BUSINESS
C.O.A. = CERTIFICATE OF AUTHORIZATION
Landscape = LANDSCAPE N/A = NOT APPLICABLE Lic. = LICENSED
No. = NUMBER P.O. = POST OFFICE © = COPYRIGHT

GENERAL PROVISIONS

- 1. THE CONTRACTOR SHALL OBTAIN FROM THE OWNER COPIES OF ALL AVAILABLE REGULATORY AGENCY PERMITS AND LOCAL AGENCY PERMITS.
2. CONTRACTOR, AS PART OF THE BASE BID, SHALL FIELD LOCATE ALL UNDERGROUND UTILITIES WITHIN THE PROJECT AREA WITHIN THE 30 DAYS OF PROJECT AWARD.
3. CONTRACTORS, AS PART OF THE BASE BID, SHALL PROVIDE ALL COORDINATION WITH UTILITY PROVIDERS TO PROVIDE FOR THE MATERIALS AND WORK NEEDED TO PROVIDE SERVICES TO THE PROJECT.
4. CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE FOR ALL DEMOLITION OF ABOVE GROUND AND UNDERGROUND IMPROVEMENTS IN ORDER TO CONSTRUCT THE PROPOSED IMPROVEMENTS NOTED ON THE PLANS.
5. ALL DETAILS AND REFERENCES TO FOOT REFER TO THE LATEST EDITION OF THE FOOT STANDARD PLANS.
6. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATION OF ALL UTILITY ENTRANCES TO INCLUDE SANITARY SEWER, LATERALS, DOMESTIC AND FIRE PROTECTION WATER SERVICE, ELECTRICAL, TELEPHONE AND GAS SERVICE.
7. CONTRACTOR AND HIS SURVEYOR SHALL NOTE THE PROJECT BENCHMARK INFORMATION PROVIDED IN THE PLANS AND VERIFY PRIOR TO CONSTRUCTION.
8. ALL CONSTRUCTION PROJECTS 1 OR MORE ACRES IN SIZE THAT DISCHARGE TO OFFSITE AREAS ARE REQUIRED TO COMPLY WITH THE REQUIREMENTS OF THE NATIONWIDE EROSION CONTROL SYSTEM REVISION PERMIT FOR STORMWATER DISCHARGE FROM SMALL AND LARGE CONSTRUCTION ACTIVITIES.
9. UNLESS OTHERWISE NOTED ON THE PLANS, THE CONTRACTOR SHALL USE THE GEOMETRY PROVIDED ON THE CONSTRUCTION PLANS.
10. BASE SURVEY INFORMATION INCLUDING BUT NOT LIMITED TO ELEVATIONS, EASEMENTS, RIGHTS OF WAY, AND OTHER TOPOGRAPHIC INFORMATION HAS BEEN PREPARED BY OTHER PROFESSIONALS.
11. THIS SET OF PLANS MAY CONTAIN DRAWINGS PREPARED BY OTHER PROFESSIONALS.
12. THE CONTRACTOR SHALL SUBMIT ONE ELECTRONIC COPY OF SHOP DRAWINGS TO THE ENGINEER TO KEEP FOR THEIR RECORDS.
13. PROTECT BENCHMARKS, PROPERTY CORNERS, AND OTHER SURVEY MONUMENTS FROM DAMAGE OR DISPLACEMENT.
14. THE CONTRACTOR IS RESPONSIBLE FOR ALL QUALITY CONTROL TESTING.
15. IN ADDITION TO QUALITY CONTROL TESTING, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REQUIRED TESTING OR APPROVALS FOR ANY WORK (OR ANY PART THEREOF) PLANS OR REGULATIONS OF ANY PUBLIC BODY HAVING JURISDICTION SPECIFICALLY REQUIRE TESTING, INSPECTIONS OR APPROVAL.
16. ANY DESIGN OR TESTING LABORATORY UTILIZED BY THE CONTRACTOR SHALL BE AN INDEPENDENT LABORATORY ACCEPTABLE TO THE OWNER AND THE ENGINEER.
17. TESTING RESULTS SHALL BE PROVIDED TO THE OWNER/OPERATOR AND THE ENGINEER.
18. THE ENTIRE PROJECT SITE SHALL BE THOROUGHLY CLEANED AT THE COMPLETION OF THE WORK.
19. ALL DISTURBED AREAS WITHIN RIGHT OF WAYS SHALL BE SODED.
20. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES.
21. THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS INCLUDING THE FLORIDA TRENCH SAFETY ACT (90-96 LAWS OF FLORIDA).
22. CONTRACTOR MUST STOP OPERATION AND NOTIFY THE OWNER FOR PROPER DIRECTION IF ANY ENVIRONMENTAL OR HEALTH RELATED CONTAMINATE IS ENCOUNTERED DURING EXCAVATION.

UTILITY GENERAL NOTES

- 1. THE UTILITY DATA SHOWN ON THESE PLANS WAS LOCATED BY THE RESPECTIVE UTILITY, OR IS BASED ON UTILITY DRAWINGS, MAPS, OR FIELD RECONNAISSANCE.
2. THE LOCATION, MATERIAL TYPE, AND SIZE OF ALL EXISTING UTILITIES SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST INFORMATION AVAILABLE AND ARE GIVEN FOR THE CONVENIENCE OF THE CONTRACTOR.
3. A SINGLE POINT UTILITY IDENTIFICATION SERVICE HAS BEEN SET UP FOR EXISTING UTILITIES.
4. THE UTILITY PROVIDERS NOTED ON THE COVER SHEET HAVE PREVIOUSLY INDICATED THAT THEY MAY HAVE FACILITIES IN THE VICINITY OF THE CONSTRUCTION AREA.
5. THE CONTRACTOR SHALL KEEP LOCATE TICKETS UP TO DATE AT ALL TIMES.
6. THE CONTRACTOR IS RESPONSIBLE FOR ALL COORDINATION WITH EACH UTILITY AND ALL COSTS ASSOCIATED WITH THE PROTECTION OF EXISTING FACILITIES DURING CONSTRUCTION.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN IN SERVICE ALL EXISTING PIPING ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED IN THE DRAWINGS.
8. TYPICAL DETAILS AND PROPOSED CONSTRUCTION AS SHOWN ILLUSTRATE THE ENGINEER'S INTENT AND ARE NOT PRESENTED AS A SOLUTION TO ALL CONSTRUCTION PROBLEMS ENCOUNTERED IN THE FIELD.
9. FOR EACH RESPECTIVE PIPELINE CONSTRUCTION REQUIRED, THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION, DEPTH, SIZE, MATERIAL TYPE, AND ALIGNMENT OF ALL EXISTING PIPES, CABLES, ETC.
10. THE CONTRACTOR SHALL PROVIDE AT HIS OWN EXPENSE ALL NECESSARY TEST PUMPING EQUIPMENT, WATER, WATER METERS, PRESSURE GAUGES, AND OTHER EQUIPMENT, MATERIAL AND FACILITIES REQUIRED FOR ALL HYDROSTATIC, LEAKAGE, AND PRESSURE TESTING.

AS-BUILT DRAWING REQUIREMENTS

- 1. AS-BUILT DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR TO THE ENGINEER AT LEAST THREE WEEKS PRIOR TO FINAL INSPECTION.
2. ALL RECORD DRAWINGS SHALL BE PREPARED BY THE CONTRACTOR IN ACAD FORMAT USING CONSTRUCTION PLAN SHEETS PROVIDED BY THE ENGINEER.

- THE CONSTRUCTION PLAN SHEETS PROVIDED BY THE ENGINEER, AND CERTIFIED, SIGNED AND SEALED BY THE CONTRACTOR'S LICENSED SURVEYOR WHO WILL BE RESPONSIBLE FOR THE ACCURACY OF ALL DIMENSIONS AND ELEVATIONS.
3. THE AS-BUILT INFORMATION IS TO INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
A. HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS FOR ALL UTILITY AND STORM STRUCTURES INCLUDING BUT NOT LIMITED TO MANHOLES, INLETS AND CLEANOUTS, INCLUDING STRUCTURE TOP AND INVERT ELEVATIONS.
B. DISTANCE ALONG PIPELINES BETWEEN STRUCTURES.
C. STORMWATER POND TOP OF BERM AND POND BOTTOM ELEVATIONS AND HORIZONTAL DIMENSIONS MEASURED AT A MINIMUM OF TEN LOCATIONS PER POND.
D. STORMWATER CONTROL STRUCTURE DIMENSIONS AND ELEVATIONS, INCLUDING ALL WEIRS, SLOTS, ORIFICES, GRATES, AND SUMMERS.
E. STORMWATER CONVEYANCE SYSTEMS INCLUDING DIMENSIONS, ELEVATIONS, CONTOURS, AND CROSS SECTIONS.
F. HORIZONTAL LOCATIONS AND VERTICAL ELEVATIONS OF ALL UTILITY VALVES, FITTINGS, CONNECTION POINTS, ETC.
G. VERTICAL ELEVATIONS OF ALL PIPELINES AT CROSSINGS OF POTABLE WATER MAINS.
H. UTILITY PIPELINE TIED HORIZONTALLY TO EDGE OF PAVEMENT AND RIGHT-OF-WAY LINES.
I. PAVEMENT WIDTH AND ELEVATIONS AT THE CENTERLINE AND EDGE OF PAVEMENT EVERY 200 FEET PLUS AT ALL CHANGES IN LONGITUDINAL SLOPE, CROSS SLOPE, INLET LOCATIONS, AND AT ALL DRIVEWAY AND STREET INTERSECTIONS.
J. ALL PARKING AREAS AND SIDEWALK RAMP DESIGNATED FOR HANDICAP ACCESS SHALL CONTAIN HORIZONTAL AND VERTICAL MEASUREMENTS IN ORDER TO VERIFY REQUIRED WIDTHS AND SLOPES HAVE BEEN MET.
K. HORIZONTAL AND VERTICAL DATA FOR ANY CONSTRUCTION THAT DEVIATES FROM THE APPROVED ENGINEERING DRAWINGS.
L. WHERE THE PLANS CONTAIN SPECIFIC HORIZONTAL LOCATION DATA, SUCH AS STATION AND OFFSET, THE AS-BUILT DRAWINGS ARE TO REFLECT THE ACTUAL HORIZONTAL LOCATION.
M. WHERE THE PLANS CONTAIN SPECIFIC VERTICAL ELEVATION DATA, THE AS-BUILT DRAWINGS ARE TO REFLECT THE ACTUAL MEASURED VERTICAL ELEVATION.
N. ANY ADDITIONAL INFORMATION REQUIRED BY GOVERNING AGENCIES.
4. IN CASES WHERE THE OWNER DETERMINES PARTIAL CLEARANCES FROM PERMITTING AGENCIES ARE BENEFICIAL TO THE OWNER FOR COMPLETED PORTIONS OF THE PROJECT.
5. COMPLETE AS-BUILT DRAWINGS THAT ARE FOUND TO BE SATISFACTORY AS A RESULT OF THE ENGINEER'S REVIEW WILL BE USED AS THE BASIS FOR THE FINAL PROJECT RECORD DRAWINGS PREPARED BY THE ENGINEER USING THE CONTRACTOR PROVIDED AS-BUILT DRAWINGS PLUS ENGINEER ADDED INFORMATION.

TRAFFIC CONTROL

- 1. THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A MAINTENANCE OF TRAFFIC (M.O.T.) PLAN PRIOR TO CONSTRUCTION.
2. ALL TRAFFIC CONTROL MEASURES SHALL BE IN ACCORDANCE WITH FDOT STANDARD PLANS INDEX 102-800 AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
3. INSPECT TRAFFIC CONTROL DEVICES ON A DAILY BASIS TO ENSURE PLACEMENT OF BARRICADES AND FUNCTION OF LIGHTS IS MAINTAINED THROUGHOUT CONSTRUCTION.
4. CONTACT PROPERTY OWNERS AFFECTED BY CONSTRUCTION.
5. WET UNSTABILIZED AREAS AS NECESSARY TO CONTROL DUST.
6. ADJUST TRAFFIC CONTROL DEVICES AS REQUIRED UNDER EMERGENCY CONDITIONS.
7. THE CONTRACTOR IS EXPECTED TO COORDINATE ITS ACTIVITIES WITH OTHER CONTRACTORS WHO MAY BE WORKING IN THE IMMEDIATE VICINITY.
8. WHEN WORK OCCURS WITHIN 15 FT OF ACTIVE ROAD TRAVEL LANES BUT NO CLOSER THAN 2 FT FROM THE EDGE OF PAVEMENT.
9. TYPE I OR TYPE II BARRICADES AT 20-FT CENTERS SHALL BE PLACED AND MAINTAINED ALONG THE EDGE OF THE ROAD.
10. SITE PREPARATION

SITE PREPARATION

- 1. UNLESS OTHERWISE DIRECTED BY THE OWNER OR ENGINEER, THE CONTRACTOR IS EXPECTED TO CONTAIN ALL CONSTRUCTION ACTIVITIES WITHIN THE PROPERTY, RIGHT-OF-WAY, AND EASEMENTS AS INDICATED ON THE DRAWINGS.
2. STAKE OUT THE CONSTRUCTION, ESTABLISH LINES AND LEVELS, TEMPORARY BENCH MARKS, BATTER BOARDS, CENTERLINES, BASELINES, AND REFERENCE POINTS FOR THE WORK.
3. PROTECT ALL TREES AND SHRUBS LOCATED OUTSIDE THE RIGHT-OF-WAY, EASEMENTS, AND OWNER SECURED PROPERTY.
4. WITHIN THE RIGHT-OF-WAY, EASEMENTS, AND OWNER SECURED PROPERTY, THE INTENT IS TO ALLOW TREES AND SHRUBS TO REMAIN IN ACCORDANCE WITH THE FOLLOWING SCHEDULE.
5. TREES TO REMAIN IN THE CONSTRUCTION AREA SHALL BE BOXED, FENCED OR OTHERWISE PROTECTED IN ACCORDANCE WITH DETAILS ON THE DRAWINGS.
6. AREAS TO RECEIVE CLEARING AND GRUBBING SHALL INCLUDE ALL AREAS TO BE OCCUPIED BY THE PROPOSED IMPROVEMENTS, AREAS FOR FILL AND SITE GRADING, AND BORROW SITES.
7. CLEARING SHALL CONSIST OF REMOVING TREES AND BRUSH AND DISPOSAL OF OTHER MATERIALS THAT ENDOUR UPON OR OTHERWISE OBSTRUCT THE WORK.
8. EXERCISE EXTREME CARE DURING THE CLEARING AND GRUBBING OPERATIONS.
9. GRUBBING SHALL CONSIST OF REMOVING AND DISPOSING OF STUMPS, ROOTS LARGER THAN 2 IN DIAMETER, AND MATTED ROOTS.
10. ALL COMBUSTIBLE DEBRIS AND REFUSE FROM SITE PREPARATION OPERATIONS SHALL BE REMOVED TO LEGAL OFFSITE DISPOSAL AREAS.

DEWATERING

- 1. DESIGN AND PROVIDE A DEWATERING SYSTEM USING ACCEPTED AND PROFESSIONAL METHODS CONSISTENT WITH CURRENT INDUSTRY PRACTICE.
2. CONTROL, BY ACCEPTABLE MEANS, ALL WATER REGARDLESS OF SOURCE AND BE FULLY RESPONSIBLE FOR DISPOSAL OF THE WATER.
3. DEWATERING DISCHARGE FROM THE SITE SHALL COMPLY WITH ALL NPDES GENERAL PERMIT REQUIREMENTS AND STATE WATER QUALITY STANDARDS.
4. OPEN PUMPING WITH SUMPS AND DITCHES SHALL BE ALLOWED, PROVIDED IT DOES NOT RESULT IN BOILS, LOSS OF FINES, SOFTENING OF THE GROUND, OR INSTABILITY OF SLOPES.
5. IF DEWATERING EQUIPMENT NEEDED EXCEEDS ANY OF THE FOLLOWING:
6. CONTINUOUSLY MAINTAIN EXCAVATIONS IN A DRY CONDITION WITH POSITIVE DEWATERING METHODS DURING PREPARATION OF SUBGRADE, INSTALLATION OF PIPE, AND CONSTRUCTION OF STRUCTURES UNTIL THE CRITICAL PERIOD OF CONSTRUCTION AND/OR BACKFILL IS COMPLETED.

- ADJACENT FACILITIES FROM FLOTATION OR OTHER HYDROSTATIC PRESSURE IMBALANCE.
7. WHEN CONSTRUCTION IS COMPLETE, REMOVE ALL DEWATERING EQUIPMENT FROM THE SITE, INCLUDING WELLS AND RELATED TEMPORARY ELECTRICAL SERVICE.

GRADING

- 1. SMOOTH TRANSITIONS SHALL BE PROVIDED BETWEEN CONTOURS OR SPOT ELEVATIONS AS SHOWN ON THE PLANS TO ACCOMPLISH THE GRADING INTENT.
2. ALL PROPOSED ELEVATIONS ON THE PLANS WITHIN PAVED AREAS ARE SHOWN AT PAVEMENT, UNLESS OTHERWISE NOTED.
3. ALL PAVING SURFACES IN INTERSECTIONS AND ADJACENT SECTIONS SHALL BE GRADED TO DRAIN POSITIVELY AND TO PROVIDE A SMOOTHLY TRANSITIONED DRIVING SURFACE.
4. UNIFORMLY SMOOTH GRADE THE SITE. DEPRESSIONS FROM SETTLEMENT SHALL BE FILLED AND COMPACTED.
5. NEWLY GRADED AREAS SHALL BE PROTECTED FROM TRAFFIC AND EROSION.

EXCAVATION, TRENCHING, AND FILL

- 1. THE CONTRACTOR SHALL RECOGNIZE AND ABIDE BY ALL OSHA EXCAVATION SAFETY STANDARDS, INCLUDING THE FLORIDA TRENCH SAFETY ACT (FS 5580-553.84).
2. ROUGH EXCAVATE AND GRADE ANY PROPOSED STORMWATER PONDS AT THE START OF SITE GRADING ACTIVITIES.
3. POND CONSTRUCTION SHALL RESULT IN THE FINISHED POND HAVING SIDE SLOPES AND DIMENSIONS THAT ARE IN ACCORDANCE WITH THE CONSTRUCTION DRAWINGS.
4. FIELD DENSITY TESTING FREQUENCIES:
5. IT IS INTENDED THAT PREVIOUSLY EXCAVATED MATERIALS CONFORMING TO THE FOLLOWING REQUIREMENTS BE UTILIZED WHEREVER POSSIBLE.
6. ACCEPTABLE MATERIALS:
7. SIDEWALKS, ROADS, STREETS, AND PAVEMENTS SHALL NOT BE BLOCKED OR OBSTRUCTED BY EXCAVATED MATERIALS.
8. FURNISH, INSTALL, AND MAINTAIN, WITHOUT ADDITIONAL COMPENSATION, SHEETING, BRACING, AND SHORING SUPPORT REQUIRED TO KEEP EXCAVATIONS WITHIN THE PROPERTY OR EASEMENTS PROVIDED.
9. SHEETING, SHORING, AND BRACING USED FOR THE SUPPORT OF EXCAVATIONS SHALL BE DESIGNED BY A PROFESSIONAL ENGINEER LICENSED BY THE STATE OF FLORIDA.
10. ALL EXCAVATIONS SHALL BE MADE BY OPEN CUT UNLESS OTHERWISE INDICATED.
11. EXCAVATE TRENCHES TO DEPTH INDICATED OR REQUIRED FOR INDICATED FLOW LINES AND INVERT ELEVATIONS.
12. TRENCH BOTTOMS AND THE BOTTOMS OF ALL STRUCTURES SHALL BE KEPT DRY, COMPACTED, AND STABLE TO A DEPTH TWO FEET BELOW THE BOTTOM OF THE TRENCH OR STRUCTURE.
13. ALL BEDDING, FILL, AND BACKFILL MATERIAL SHALL BE SUITABLE SOILS OR FLOWABLE FILL.
14. MINIMUM DENSITY REQUIREMENT (ASTM D1557 OR AASHTO T100):

RIPRAP

- 1. ALL RIPRAP CONSTRUCTION SHALL MEET THE REQUIREMENTS OF SECTION 530 OF THE FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION.

cph logo
www.cphcorp.com
A Full Service A & E Firm
5280 Delfort Road, Suite 229 Jacksonville, FL 32256
Phone: 904.332.8999
Plans Prepared By: CPH, Inc.
State of Florida License: Engineer No. 3215, Surveyor No. 187143, Architect No. AA2680826, Landscape No. LC086298

This item has been digitally signed and sealed by WADE P. OLSZEWSKI, P.E. on the date attached to the seal. Printed copies of this document are not considered signed and sealed unless the signature must be verified on any electronic copies.

Table with 4 columns: No., Date, Revision, and a column with a triangle symbol.

Designed: W. Olszewski
Drawn: D. Schneider
Checked: W. Olszewski
Job No.: R9123
Date: 6/05/23

regency centers logo
GENERAL NOTES
CITY OF ST. AUGUSTINE BEACH, FLORIDA

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS.
Sheet No. C0.2

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GENERAL:

- 1. WHERE THESE NOTES CONFLICT WITH THE SPECIFICATIONS IN PART III OF THE MANUAL, PART III GOVERNS.
2. TWO (2) COPIES OF THE SHOP DRAWINGS FOR MATERIALS NOT IN THE APPROVED MATERIALS MANUAL (STAMPED APPROVED BY THE ENGINEER) SHALL BE SUBMITTED TO SJUCD FOR REVIEW PRIOR TO SCHEDULING THE MANDATORY PRE-CONSTRUCTION CONFERENCE...
3. A PRE-CONSTRUCTION CONFERENCE IS REQUIRED WITH THE DEVELOPER, THE ENGINEER OF RECORD, THE UTILITY CONTRACTOR, AND THE SJUCD PRIOR TO THE START OF ANY CONSTRUCTION...
4. ALL WATER, SEWER, AND/OR REUSE CONSTRUCTION SHALL BE PERFORMED BY A CONTRACTOR LICENSED UNDER THE PROVISIONS OF CHAPTER 489, FLORIDA STATUTES...
5. THE CONTRACTOR IS RESPONSIBLE FOR INSPECTING THE SITE PRIOR TO CONSTRUCTION.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF ALL LOCATIONS & ELEVATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
7. THE CONTRACTOR(S) SHALL LOCATE, VERIFY, AND IDENTIFY ALL EXISTING UTILITIES AND UNDERGROUND UTILITIES SHOWN OR NOT SHOWN ON THE PLANS...
8. THE WATER, SEWER, AND/OR REUSE SYSTEM SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SJUCD APPROVED CONSTRUCTION DRAWINGS AND SPECIFICATIONS...
9. THE CONTRACTOR SHALL FIELD VERIFY THE CONNECTION POINTS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION...
10. EXISTING UTILITIES SHOWN ON THESE PLANS HAVE BEEN LOCATED PER AVAILABLE MEANS WITHOUT EXCAVATION.
11. VERTICAL LOCATIONS OF ALL UTILITIES (EXCLUDING EXISTING STORM SEWERS) SHOWN ON PLAN AND PROFILE SHEETS HAVE BEEN REFERENCED TO A BENCH MARK SHOWN ON THE UTILITY PLANS...
12. SHOULD CONDITIONS VARY FROM THOSE SHOWN ON THESE PLANS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AND SJUCD PRIOR TO CONTINUING CONSTRUCTION.
13. THE CONTRACTOR SHALL PROTECT SURVEY MARKERS, MONUMENTS, ETC. DURING CONSTRUCTION...
14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES CAUSED BY HIS OPERATIONS...
15. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION AND BUILDING PLACEMENT WITH ALL OTHER UTILITIES CONSTRUCTION.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL AND DISPOSAL OF ANY UNSUITABLE MATERIAL FROM HIS OPERATION...
17. UNSUITABLE MATERIALS UNDER WATER, SEWER, AND/OR REUSE MAINS SHALL BE REMOVED AND REPLACED WITH SELECTED BACKFILL PROPERLY COMPACTED TO 95% OF MAXIMUM DENSITY...
18. THE CONTRACTOR(S) SHALL NOTIFY ALL APPLICABLE UTILITIES COMPANIES, THE ENGINEER OF RECORD, AND THE PROPERTY OWNER 72 HOURS PRIOR TO INITIATING ANY EXCAVATION ACTIVITIES...
19. THE ENGINEER OF RECORD AND SJUCD SHALL BE GIVEN FIVE (5) BUSINESS DAYS NOTICE OF ALL REQUESTED MEETINGS AND/OR TESTING MEASURES RELATED TO THE PROJECT.
20. ALL WORK, MATERIALS, AND EQUIPMENT SHALL BE IN COMPLETE ACCORDANCE WITH ALL RELEVANT ST. JOHNS COUNTY STANDARDS AND REQUIREMENTS AS WELL AS STATE AND LOCAL REGULATIONS.
21. ALL UNDERGROUND UTILITY EQUIPMENT, MATERIALS AND INSTALLATION SHALL BE IN ACCORDANCE WITH THE LATEST REVISION OF THE MANUAL OF WATER, WASTEWATER, AND REUSE DESIGN STANDARDS & SPECIFICATIONS...
22. ALL UTILITY CROSSINGS SHALL COMPLY WITH FDEP REGULATIONS (CH. 62-555.314, FAC).
23. ANY LANDSCAPING TREES SHALL BE PLACED A MINIMUM OF 7.5 FEET AWAY FROM THE EDGE OF PIPELINE TO THE TREE CENTERLINE.
24. ALL ROCK AND UNSUITABLY SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA AND ST. JOHNS COUNTY UTILITIES STANDARDS AND/OR PIPE MANUFACTURER'S RECOMMENDED INSTALLATION PROCEDURES) FOUND IN TRENCHES FOR NEW AND RELOCATED PIPE SHALL BE REMOVED TO A DEPTH OF AT LEAST SIX (6) INCHES BELOW THE BOTTOM OF THE PIPE...

ST. JOHNS COUNTY UTILITY DEPARTMENT (SJUCD) GENERAL NOTES

- 24. FOR WATER, WASTEWATER, AND RECLAIMED MAINS SMALLER THAN 18 INCHES, THE MINIMUM AND MAXIMUM COVER SHALL BE 30 INCHES AND 36 INCHES, RESPECTIVELY, IN UNPAVED AREAS AND 36 INCHES AND 42 INCHES, RESPECTIVELY, IN PAVED AREAS, OR AS REQUIRED WITHIN FOOT OR RAILROAD RIGHTS-OF-WAY...
25. WHERE FORCEMAINS, WATERMAINS, OR RECLAIMED WATERMAINS ARE LAID WITHOUT FITTINGS, THE MAXIMUM DEFLECTION SHALL BE 80% OF THAT RECOMMENDED BY THE MANUFACTURER.
26. FITTINGS SHALL BE USED AT LOCATIONS INDICATED ON THE PLANS, UNLESS OTHERWISE APPROVED BY THE ENGINEER...
27. ALL UNDERGROUND VALVES SHALL BE INSTALLED WITH AN ADJUSTABLE CAST IRON VALVE BOX WITH TOP SET TO FINAL GRADE...
28. CONTRACTOR IS RESPONSIBLE FOR PROPER NOTIFICATION OF INSPECTING AUTHORITIES BEFORE AND DURING CONSTRUCTION.
29. CONTRACTOR SHALL PROVIDE A MINIMUM OF SEVEN (7) BUSINESS DAYS NOTICE TO SJUCD PRIOR TO SCHEDULING THE FINAL INSPECTION.

NOTICE OF PROCEDURE:

- 1. ALL COMMERCIAL BUILDING PERMITS AND METERS PROCESSED THROUGH SJUCD CUSTOMER SERVICE SHALL BE ACCOMPANIED BY A SET OF APPROVED CIVIL DESIGN PLANS.
2. ALL CONNECTIONS TO THE WATER, SEWER, AND/OR REUSE SYSTEM, FLUSHING, AND PRESSURE TESTS TO BE PERFORMED BY THE UTILITY CONTRACTOR OR LICENSED MASTER PLUMBER MUST BE SCHEDULED AT LEAST FIVE (5) WORKING DAYS IN ADVANCE WITH THE SJUCD...
3. IT IS THE ENGINEER OF RECORD'S RESPONSIBILITY TO SECURE APPLICABLE PERMITS PRIOR TO CONSTRUCTION.
4. THE PROPERTY OWNER SHALL PURCHASE THE WATER METER THROUGH THE SJUCD ON PROJECTS THAT REQUIRE A WATER METER LARGER THAN ONE (1) INCH...
5. WATER, SEWER, AND/OR REUSE UNIT CONNECTION FEES SHALL BE PAID IN FULL AT THE TIME OF BUILDING PERMIT APPLICATION.
6. ALL ON-SITE PRIVATE WATER, SEWER, AND/OR REUSE CONSTRUCTION BETWEEN THE METER AND BUILDING MAY BE INSPECTED BY THE SJUCD TO ENSURE STANDARDS ARE MET.
7. ALL REQUIREMENTS BY THE SJUCD (I.E. FINAL INSPECTION, CORRECTION OF PUNCH LIST ITEMS, "AS BUILTS", FDEP CERTIFICATION OF COMPLETION, ETC) MUST BE SATISFIED PRIOR OF ISSUANCE OF CERTIFICATES OF OCCUPANCY.

PRESSURE PIPE NOTES:

- 1. POTABLE AND RECLAIMED WATERMAINS AND FORCEMAINS 4" THROUGH 12" DIAMETER SHALL BE DR18, C900 PVC, WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS...
2. POTABLE AND RECLAIMED WATERMAINS AND FORCEMAINS 16" THROUGH 36" DIAMETER SHALL BE DR25, C905 PVC WITH PUSH-ON, GASKETED, AND RESTRAINED JOINTS...
3. POTABLE AND RECLAIMED WATERMAINS LARGER THAN 36" DIAMETER SHALL BE DIP CLASS 250.
4. HDD UP TO 36" DIAMETER AND LESS THAN 300 FEET SHALL BE DR11, C906 HDPE...
5. 2" POTABLE AND RECLAIMED WATERMAINS AND FORCEMAINS SHALL BE DR9, HDPE (CTS).
6. PIPE SHALL BE APPROPRIATELY COLOR CODED: BLUE-POTABLE WATER, GREEN-SEWER, AND PURPLE-RECLAIMED WATER.

POTABLE WATER SYSTEMS NOTES:

- 1. ALL CURB STOPS ARE TO BE BALL-TYPE WITH LOCKING CAPACITY, 1" MINIMUM.
2. A FULL UNCUIT LENGTH OF WATERMAIN PIPE (USUALLY 20 FEET) SHALL BE CENTERED AT THE POINT OF CROSSING OF ALL WATER AND SEWER (INCLUDING STORM) LINES AT THE POINT OF CROSSINGS REGARDLESS OF THE VERTICAL SEPARATIONS.
3. WHERE SOLVENT CONTAMINATION IS FOUND IN THE TRENCH, WORK WILL BE STOPPED AND THE PROPER AUTHORITIES NOTIFIED...
4. NO CONNECTION TO EXISTING POTABLE WATER SYSTEM SHALL BE ALLOWED UNTIL ALL PROPOSED WATER LINES HAVE BEEN PRESSURE TESTED, DISINFECTED, CLEARED FOR SERVICE BY FDEP AND ACCEPTED FOR MAINTENANCE BY THE SJUCD.
5. JUMPER CONNECTIONS WITH BACKFLOW PREVENTION DEVICE SHALL BE USED TO FILL OR FLUSH WATERMAINS
6. ALL NEW AND RELOCATED WATERMAIN PIPE, FITTINGS, VALVES, AND FIRE HYDRANTS SHALL BE IN CONFORMANCE WITH APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) AND SJUCD STANDARDS.
7. ALL NEW AND RELOCATED WATERMAIN PIPE AND FITTINGS WILL COMPLY WITH THE LATEST FDEP AND AWWA STANDARDS FOR LEAD CONTENT.

- 8. ALL NEW AND RELOCATED WATERMAINS SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C605, LATEST EDITION.
9. ALL NEW AND RELOCATED WATERMAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651 AND RULE 62-555.340, F.A.C.
10. ALL NEW AND RELOCATED WATER SERVICES SHALL BE IN CONFORMANCE WITH THE STATE PLUMBING CODE AND SJUCD STANDARDS.
11. THE BACTERIOLOGICAL SAMPLE POINTS SHALL BE INDICATED ON THE AS BUILT DRAWINGS...
12. SANITARY SEWER LINES SHALL BE GREEN, SDR26 PIPE, AND CLEARLY MARKED ON THE PIPE.
13. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD AND SJUCD ALL VIDEO LOGS, WRITTEN REPORTS, AND DEFLECTION TEST RESULTS FOR REVIEW AND APPROVAL.
14. THE CONTRACTOR SHALL CONTACT SJUCD PRE-TREATMENT DEPARTMENT AT (904) 209-2663 FOR INSPECTION AFTER INSTALLATION OF GREASE TRAPS, INTERCEPTORS, AND/OR OIL-WATER SEPARATORS.

WASTEWATER SYSTEM NOTES:

- 1. AN APPROVED INTERIOR LINER IS REQUIRED ON RECEIVING MANHOLES, PUMP STATION WETWELLS AND MANHOLES WITH THREE OR MORE INVERTS.
2. SANITARY SEWER LINES SHALL BE GREEN, SDR26 PIPE, AND CLEARLY MARKED ON THE PIPE.
3. THE CONTRACTOR SHALL SUBMIT TO THE ENGINEER OF RECORD AND SJUCD ALL VIDEO LOGS, WRITTEN REPORTS, AND DEFLECTION TEST RESULTS FOR REVIEW AND APPROVAL.
4. THE CONTRACTOR SHALL CONTACT SJUCD PRE-TREATMENT DEPARTMENT AT (904) 209-2663 FOR INSPECTION AFTER INSTALLATION OF GREASE TRAPS, INTERCEPTORS, AND/OR OIL-WATER SEPARATORS.

AS-BUILTS:

- 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PRODUCE, SUBMIT AND OBTAIN APPROVAL OF REPRODUCIBLE "AS-BUILT" DRAWINGS FROM JURISDICTIONAL AGENCIES AS MAY BE REQUIRED.
2. "AS-BUILT" INFORMATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR...
3. A MINIMUM OF FIVE (5) BUSINESS DAYS PRIOR TO THE FINAL INSPECTION, TWO (2) SETS OF PRELIMINARY BLACKLINE "AS-BUILTS" AND COPY ON DISK IN AUTOCAD FORMAT SHOWING THE REQUIRED INFORMATION, SHALL BE SUBMITTED TO THE ENGINEER OF RECORD.
4. THE RECORD OR "AS BUILT" DRAWINGS TO BE PREPARED BY THE CONTRACTOR AND SUBMITTED AT THE TIME OF THE REQUEST FOR A LETTER OF RELEASE...
5. AFTER SJUCD HAS APPROVED PRELIMINARY "AS BUILT", THREE (3) SETS OF BLACKLINE AS-BUILTS (SIGNED AND SEALED) AND COPY ON DISK IN AUTOCAD FORMAT SHOWING THE REQUIRED INFORMATION, SHALL BE SUBMITTED TO SJUCD THROUGH ST. JOHNS COUNTY DEVELOPMENT SERVICES.

STANDARD WATER/SEWER/RECLAIMED WATER SEPARATION STATEMENT:

- THE CONTRACTOR SHALL INSTALL ALL MAINS IN ACCORDANCE WITH THE REQUIREMENTS OF RULE 62-555.314, FAC, BELOW THE CONTRACTOR SHALL NOTIFY SJUCD IN ANY INSTANCE WHERE THE BELOW REQUIREMENTS CANNOT BE MET PRIOR TO INSTALLATION OF PIPE...
(A) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER...
(B) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER...
(C) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST SIX FEET, AND PREFERABLY TEN FEET, BETWEEN THE OUTSIDE OF THE WATERMAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY- OR PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER...
(D) NEW OR RELOCATED, UNDERGROUND WATERMAINS SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATERMAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM" AS DEFINED IN SECTION 381.0065(2), F.S., AND RULE 64E-6.002, F.A.C.
(2) VERTICAL SEPARATION BETWEEN UNDERGROUND WATERMAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS, AND RECLAIMED WATER PIPELINES.

(A) NEW OR RELOCATED, UNDERGROUND WATERMAINS CROSSING ANY EXISTING OR PROPOSED GRAVITY-OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATERMAIN IS AT LEAST SIX INCHES, AND PREFERABLY 12 INCHES, ABOVE OR AT LEAST 12 INCHES BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATERMAIN ABOVE THE OTHER PIPELINE.

(B) NEW OR RELOCATED, UNDERGROUND WATERMAINS CROSSING ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORM WATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER SHALL BE LAID SO THE OUTSIDE OF THE WATERMAIN IS AT LEAST 12 INCHES ABOVE OR BELOW THE OUTSIDE OF THE OTHER PIPELINE. HOWEVER, IT IS PREFERABLE TO LAY THE WATERMAIN ABOVE THE OTHER PIPELINE.

(C) AT THE UTILITY CROSSINGS DESCRIBED IN PARAGRAPHS (A) AND (B) ABOVE, ONE FULL LENGTH OF WATERMAIN PIPE SHALL BE CENTERED ABOVE OR BELOW THE OTHER PIPELINE SO THE WATERMAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE...
(3) SEPARATION BETWEEN WATERMAINS AND SANITARY OR STORM SEWER MANHOLES.
(A) NO WATERMAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SEWER OR STORMWATER MANHOLE.
(B) SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS...

(A) NO WATERMAIN SHALL PASS THROUGH, OR COME INTO CONTACT WITH, ANY PART OF A SEWER OR STORMWATER MANHOLE.

(B) SEPARATION BETWEEN FIRE HYDRANT DRAINS AND SANITARY OR STORM SEWERS, WASTEWATER OR STORM WATER FORCEMAINS, RECLAIMED WATER PIPELINES, AND ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEMS. NEW OR RELOCATED FIRE HYDRANTS WITH UNDERGROUND DRAINS SHALL BE LOCATED SO THAT THE DRAINS ARE AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORM WATER FORCEMAIN, OR PIPELINE CONVEYING RECLAIMED WATER...
(5) EXCEPTIONS, WHERE IT IS NOT TECHNICALLY FEASIBLE OR ECONOMICALLY SENSIBLE TO COMPLY WITH THE REQUIREMENTS IN SUBSECTION (1) OR (2) ABOVE, THE DEPARTMENT SHALL ALLOW EXCEPTIONS IF SUPPLIERS OF WATER OR CONSTRUCTION PERMIT APPLICANTS PROVIDE TECHNICAL OR ECONOMIC JUSTIFICATION FOR EACH EXCEPTION...

(A) WHERE AN UNDERGROUND WATERMAIN IS BEING LAID LESS THAN THE REQUIRED MINIMUM HORIZONTAL DISTANCE FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATERMAIN IS CROSSING ANOTHER PIPELINE AND JOINTS IN THE WATERMAIN ARE BEING LOCATED LESS THAN THE REQUIRED MINIMUM DISTANCE FROM JOINTS IN THE OTHER PIPELINE:

- 1. USE OF PRESSURE-RATED PIPE CONFORMING TO THE AMERICAN WATER WORKS ASSOCIATION STANDARDS INCORPORATED INTO RULE 62-555.330, F.A.C., FOR THE OTHER PIPELINE IF IT IS A GRAVITY- OR VACUUM-TYPE PIPELINE;
2. USE OF WELDED, FUSED, OR OTHERWISE RESTRAINED JOINTS FOR EITHER THE WATERMAIN OR THE OTHER PIPELINE; OR
3. USE OF WATERTIGHT CASING PIPE OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR EITHER THE WATERMAIN OR THE OTHER PIPELINE.

(B) WHERE AN UNDERGROUND WATERMAIN IS BEING LAID LESS THAN THREE FEET HORIZONTALLY FROM ANOTHER PIPELINE AND WHERE AN UNDERGROUND WATERMAIN IS CROSSING ANOTHER PIPELINE AND IS BEING LAID LESS THAN THE REQUIRED MINIMUM VERTICAL DISTANCE FROM THE OTHER PIPELINE:

- 1. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE WATER MAIN; AND
2. USE OF PIPE, OR CASING PIPE, HAVING HIGH IMPACT STRENGTH (I.E., HAVING AN IMPACT STRENGTH AT LEAST EQUAL TO THAT OF 0.25-INCH-THICK DUCTILE IRON PIPE) OR CONCRETE ENCASEMENT AT LEAST FOUR INCHES THICK FOR THE OTHER PIPELINE IF IT IS NEW AND IS CONVEYING WASTEWATER OR RECLAIMED WATER.

HYDROSTATIC TESTING NOTES:

- 1. AFTER ALL PRESSURE PIPES ARE INSTALLED, THE JOINTS COMPLETED, AND THE TRENCH BACK-FILLED, THE NEWLY LAID PIPE AND APPURTENANCES SHALL BE SUBJECTED TO A HYDROSTATIC TEST FOR A PERIOD OF AT LEAST TWO (2) HOURS...
TEST SHALL BE AS SET FORTH IN AWWA STANDARD C605. ANY LEAKS DETECTED SHALL BE CORRECTED AND THE SECTION OF PIPELINE RETESTED...
HYDROSTATIC AND LEAKAGE TEST AND BLOW-DOWN (ZEROING OF QUAGE) MUST OCCUR BEFORE SAMPLING FOR BACTERIOLOGICAL TEST. THE MAXIMUM ALLOWABLE PRESSURE LOSS IS 5 PSI.



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Drawn: D. Schneider
Checked: W. Olszewski
Job No.: R9123
Date: 6/05/23 © 2023

ST. JOHNS COUNTY UTILITIES GENERAL NOTES
regency centers
CITY OF ST. AUGUSTINE BEACH, FLORIDA

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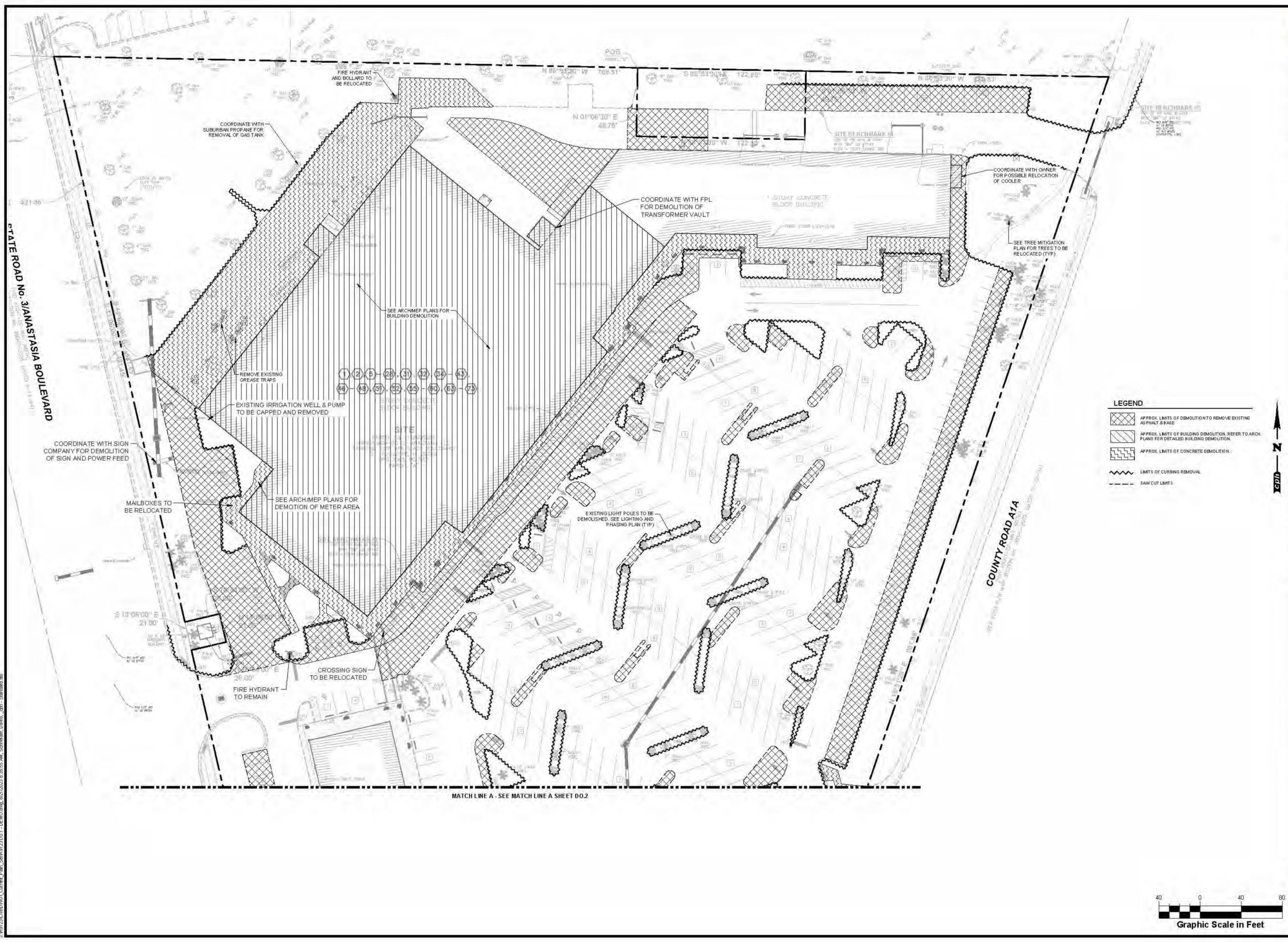
No.	Date	Revision

Designed: W. Olszewski
 Drawn: D. Schneider
 Checked: W. Olszewski
 Job No.: R9123
 Date: 6/05/23 © 2023

DEMOLITION PLAN
regency centers
 CITY OF ST. AUGUSTINE BEACH, FLORIDA

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Sheet No.
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STORMWATER POLLUTION PREVENTION NOTES

THESE PLANS HAVE BEEN PREPARED TO ASSIST THE CONTRACTOR IN OBTAINING COVERAGE UNDER THE FDEP GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW THE PERMIT REQUIREMENTS AND MODIFY THESE PLANS AS NEEDED TO BE IN COMPLIANCE WITH THE PERMIT REQUIREMENTS.

SITE DESCRIPTION
 A. SITE LOCATION
 THE SITE IS LOCATED AT 2100 SUDLER SQUARE, IN THE CITY OF FERNANDINA BEACH, FLORIDA
 SECTION 29, TOWNSHIP 3 NORTH, RANGE 23 EAST
 LATITUDE: 30°52'20.02" N LONGITUDE: 81°25'28.57" W

B. SITE CONDITIONS & ACTIVITIES NARRATIVE
 THE EXISTING CONDITION OF THE SITE IS UNDEVELOPED. DURING CONSTRUCTION THE SITE WILL BE DISTURBED BUT REMAIN AT RELATIVELY THE SAME GRADE. THIS PROJECT WILL HAVE NO MAJOR EFFECT ON ANY OF THE ADJACENT PROPERTIES.

WETLANDS BUFFER
 NO WETLANDS OR BUFFERS ARE ASSOCIATED WITH THIS PROJECT.

SWPPP INTENT
 THE INTENT OF THIS SWPPP IS TO COMPLY WITH THE INTENT OF THE GENERIC PERMIT AND TO PREVENT THE RELEASE OF SOILS, CHEMICALS, TOXINS AND OTHER POLLUTANTS BY WATER, AIR, VEHICLE TRANSPORT OR OTHER MEANS THAT CAN IMPACT STORMWATER QUALITY. THE CONTRACTOR SHALL OBTAIN A COPY OF THE GENERIC PERMIT AND RETAIN ON SITE FOR FUTURE REFERENCE. THE CONTRACTOR SHALL ENSURE THAT THE BMP'S ARE INSTALLED AND THE EXECUTION OF THE WORK IS PERFORMED TO MEET THE INTENT OF THE GENERIC PERMIT AND THE SWPPP.

POTENTIAL SOURCES OF POLLUTION
 THE POTENTIAL SOURCES OF POLLUTION THAT MAY BE REASONABLY EXPECTED TO AFFECT THE QUALITY OF STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY INCLUDES SEDIMENT, PESTICIDES, FERTILIZERS, PLASTER, CLEANING SOLVENTS, ASPHALT, CONCRETE, OILS, ADHESIVES, PAINTS, CURING COMPOUNDS, WOOD PRESERVATIVES, HYDRAULIC OIL FLUIDS, GASOLINE, DIESEL FUEL AND KEROSENE.

SEQUENCE OF CONSTRUCTION
 THE SEQUENCE OF CONSTRUCTION HAS BEEN DEVELOPED AS A GUIDE FOR THE CONTRACTOR. THE CONTRACTOR SHALL SEQUENCE THE CONSTRUCTION AS NEEDED BASED ON BEST MEANS AND METHODS TO BE IN COMPLIANCE WITH STATE AND LOCAL REQUIREMENTS. THE INSTALLATION OR REMOVAL OF BMP'S, EARTH DISTURBANCE, GRADING, TEMPORARY STABILIZATION AND PERMANENT STABILIZATION SHALL BE IMMEDIATELY NOTED IN THE SWPPP IMPLEMENTATION LOG. ALL TEMPORARY BMP'S SHALL BE REPAIRED AND MAINTAINED UNTIL STABILIZATION HAS OCCURRED AND THERE IS NO RISK OF DISCHARGE. TEMPORARILY SEED, IMMEDIATELY AND THROUGHOUT CONSTRUCTION, DENUDED AREAS THAT WILL BE INACTIVE FOR 7 DAYS OR MORE. PERMANENTLY STABILIZE AREAS TO BE VEGETATED AS THEY ARE GRADUED TO FINAL GRADE.

- POST A COPY OF THE NOI OR LETTER FROM FDEP CONFIRMING COVERAGE UNDER THE GENERIC PERMIT, AND THE NAME AND PHONE NUMBER OF THE CONTRACTOR'S REPRESENTATIVE RESPONSIBLE FOR EROSION AND SEDIMENTATION CONTROL INSTALLATION AND MAINTENANCE ON A 24 HOUR BASIS.
- INSTALL PERMETER CONTROLS IMMEDIATELY DOWNSTREAM OF THE PLANNED LOCATION OF THE CONSTRUCTION EXIT.
- INSTALL STABILIZED CONSTRUCTION EXITS.
- INSTALL PERMETER CONTROLS. THE CONTRACTOR SHALL INSTALL THE REMAINING BMP'S AS SHOWN AND AS REQUIRED TO MEET PERMIT REQUIREMENTS. SOME BMP INSTALLATIONS MAY NOT BE POSSIBLE AT THE BEGINNING OF THE PROJECT BUT MUST BE INSTALLED AS SOON AS POSSIBLE TO ENSURE COMPLIANCE.
- INSTALL TEMPORARY STAGING AND STORAGE AREAS.
- CONSTRUCT AND STABILIZE THE SEDIMENT TRAPS WITH APPROPRIATE OUTLET STRUCTURES, IF REQUIRED.
- CONSTRUCT AND STABILIZE HYDRAULIC CONTROLS (DITCHES, SWALES, DICES, CHECK DAMS, ETC.) IF REQUIRED.
- BEGIN DEMOLITION, CLEARING AND GRUBBING OPERATIONS AS APPLICABLE.
- BEGIN CONSTRUCTION OF SITE IMPROVEMENTS.
- PAVE SITE AND STABILIZE PER PLAN.
- REMOVE ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES AFTER SITE HAS ACHIEVED FINAL STABILIZATION.
- SUBMIT NOTICES OF TERMINATION (NOT) ONCE ALL CONSTRUCTION IS COMPLETE AND ALL AREAS ARE STABILIZED PER PLAN.

GENERAL NOTES
 1. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FILE NOTICE OF INTENT TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM CONSTRUCTION ACTIVITIES (DEP FORM 62-621, 300X60) OR LATEST VERSION TO FDEP TO THE FOLLOWING ADDRESS OR THROUGH THE FDEP ONLINE SYSTEM AT LEAST TWO (2) DAYS BEFORE COMMENCEMENT OF CONSTRUCTION.

NPDES STORMWATER NOTICES CENTER, MS #210 FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, 2601 BLAIR STONE ROAD, TALLAHASSEE, FLORIDA 32309-2400

THE CONTRACTOR SHALL SUBMIT A NOTICE OF TERMINATION (NOT) WITHIN 14 CALENDAR DAYS AFTER THE SITE HAS ACHIEVED FINAL STABILIZATION (I.E. ALL DISTURBED SOILS AT THE SITE HAVE BEEN FINAL STABILIZED), TEMPORARY BMP'S HAVE BEEN REMOVED, AND STORMWATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY FROM THE SITE HAVE CEASED BY THE PERMIT HAVE BEEN ELIMINATED.

AN ENVIRONMENTAL RESOURCE PERMIT IS REQUIRED FOR THE PROJECT. CONTRACTOR SHALL PROVIDE THE PERMIT INFORMATION ON THE NOI APPLICATION.

MSA OF ERROR NAME (IF ANY), XXXXX
 THE CONTRACTOR SHALL PROVIDE A COPY OF THE NOI AND SUBS EQUATED WITH THE ACKNOWLEDGEMENT LETTERS FOR THE NOI OR NOT TO THE MSA WITHIN 7 DAYS OF RECEIPT. THE CONTRACTOR SHALL ALSO COORDINATE WITH THE MSA TO ENSURE THAT ALL SPECIFIC REQUIREMENTS ARE MET.

B. WHERE PRACTICAL, STORMWATER SHALL BE CONVEYED BY SWALES. SWALES SHALL BE CONSTRUCTED AS SHOWN ON PLANS.

C. EROSION CONTROL MEASURES SHALL BE EMPLOYED TO MINIMIZE TURBIDITY OF SURFACE WATERS LOCATED DOWNSTREAM OF ANY CONSTRUCTION ACTIVITY, WHILE THE VARIOUS MEASURES REQUIRED WILL BE SITE SPECIFIC, THEY SHALL BE EMPLOYED AS NEEDED IN ACCORDANCE WITH THE FOLLOWING:

- IN GENERAL, EROSION SHALL BE CONTROLLED AT THE FURTHEST PRACTICAL UPSTREAM LOCATION.
- NEW AND EXISTING STORMWATER INLETS AND OUTLET STRUCTURES SHALL BE PROTECTED DURING CONSTRUCTION. PROTECTION MEASURES SHALL BE EMPLOYED IMMEDIATELY AS REQUIRED DURING THE VARIOUS STAGES OF CONSTRUCTION.
- IF PERMETER EROSION CONTROL DEVICES SHALL REMAIN IN PLACE UNTIL FINAL SITE STABILIZATION HAS BEEN ESTABLISHED.

D. CLEARING AND GRUBBING OPERATIONS SHALL BE CONTROLLED SO AS TO MINIMIZE UNPROTECTED ERODIBLE AREAS EXPOSED TO WEATHER. GENERAL EROSION CONTROL BMP'S SHALL BE EMPLOYED TO MINIMIZE EROSION AND OFF-SITE SEDIMENTATION, WHILE THE VARIOUS TECHNIQUES REQUIRED WILL BE SITE AND PLAN SPECIFIC, THEY SHOULD BE EMPLOYED PRIOR TO ANY CONSTRUCTION ACTIVITY.

E. THE CONTRACTOR SHALL FURNISH, INSTALL, FEE THE SEQUENCE OF CONSTRUCTION, MAINTAIN AND SUBSEQUENTLY REMOVE, ALL NECESSARY TEMPORARY BMP'S. THE CONTRACTOR WILL FURNISH AND INSTALL ALL NECESSARY PERMANENT BMP'S.

F. THE CONTRACTOR SHALL ADJUST, ADD OR MODIFY BMP'S AS NECESSARY TO COMPLY WITH THE INTENT OF THE GENERIC PERMIT AND THE SWPPP FOR NO ADDITIONAL COMPENSATION. THE CONTRACTOR SHALL CONSULT WITH THE ENGINEER PRIOR TO ADJUSTING, ADDING OR MODIFYING BMP'S THAT AFFECT THE HYDRAULICS OF THE SITE OR BEFORE ADDING BMP'S NOT DETAIL IN THE SWPPP.

G. THE CONTRACTOR IS ADVISED THAT THE CONTRACT DRAWINGS ONLY INDICATE EROSION, SEDIMENT, AND TURBIDITY CONTROLS AT LOCATIONS DETERMINED IN THE DESIGN PROCESS. HOWEVER, THE CONTRACTOR IS REQUIRED TO PROVIDE ANY ADDITIONAL CONTROLS NECESSARY TO PREVENT THE POSSIBILITY OF SEILING ANY ADJACENT LOWLAND PARCEL OR RECEIVING WATER.

H. EROSION AND SEDIMENT CONTROL MEASURES ARE TO BE PLACED PRIOR TO, OR AS THE FIRST STEP IN CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH ALL EROSION CONTROL MEASURES SHOWN ON THE PLANS. THE EROSION CONTROL SYSTEM DESCRIBED WITHIN THE CONSTRUCTION DOCUMENTS SHOULD BE CONSIDERED TO REPRESENT THE MINIMUM ACCEPTABLE STANDARDS FOR THIS PROJECT. ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED DEPENDENT UPON THE STAGE OF CONSTRUCTION OR THE SEVERITY OF THE RAINFALL EVENT AND/OR AS DETERMINED NECESSARY AS A RESULT OF ON-SITE INSPECTIONS BY THE OWNER, THEIR REPRESENTATIVES, OR THE APPLICABLE JURISDICTIONAL AUTHORITIES. THESE ADDITIONAL MEASURES OF NECESSITY SHALL BE DETAIL IN AN ADDITIONAL COPY TO THE OWNER. IT SHOULD BE NOTED THAT THE MEASURES IDENTIFIED ON THE PLAN ARE ONLY SUGGESTED BEST MANAGEMENT PRACTICES (BMP'S). THE CONTRACTOR SHALL PROVIDE POLLUTION PREVENTION AND EROSION CONTROL MEASURES AS SPECIFIED BY FOOT NOTES IN THIS DRAWING AND AS NECESSARY FOR EACH SPECIFIC APPLICATION. IT IS THE CONTRACTOR'S ULTIMATE RESPONSIBILITY TO ASSURE THAT THE STORMWATER DISCHARGE FROM THE SITE DOES NOT EXCEED THE TOLERANCES ESTABLISHED BY ANY OF THE APPLICABLE JURISDICTIONAL AUTHORITIES.

L. THE CONTRACTOR SHALL KEEP THE SWPPP CURRENT AT ALL TIMES. THE CONTRACTOR SHALL SIGN AND DATE ANY CHANGES TO THE SWPPP AND KEEP THEM AS ATTACHMENTS TO THE ORIGINAL PLAN. WHENEVER ANY OF THE FOLLOWING EVENTS OCCUR, THE CONTRACTOR SHALL UPDATE THE SWPPP WITHIN 7 DAYS:

- THERE IS A CHANGE IN DESIGN, OPERATION OR MAINTENANCE THAT HAS A SIGNIFICANT EFFECT ON THE DISCHARGE FROM THE PROJECT.
- THERE IS A NEW DISCHARGE POINT OUT OF THE PROJECT.
- THERE IS A CHANGE IN THE LOCATION OF A DISCHARGE POINT OR OUTLET.
- AN INSPECTION REVEALS THAT BMP'S ARE INEFFECTIVE AT ELIMINATING OR MINIMIZING POLLUTANTS IN THE STORMWATER DISCHARGED FROM THE SITE.
- THERE IS A NEW SUBCONTRACTOR OR IMPROVING ANY PORTION OF THE SWPPP.
- A RELEASE CONTAINING A HAZARDOUS SUBSTANCE IN AN AMOUNT EQUAL TO, OR GREATER THAN A REPORTABLE QUANTITY OCCURS DURING A 24-HOUR PERIOD.

J. THE CONTRACTOR SHALL ENSURE THAT THE CONTRACTOR AND ALL SUBCONTRACTORS RESPONSIBLE FOR IMPLEMENTING SWPPP CONTROL MEASURES FILL OUT THE CONTRACTOR'S SUBCONTRACTOR CERTIFICATION TABLE INCLUDED IN THIS SWPPP.

K. THE CONTRACTOR SHALL COMPLETE THE CONSTRUCTION SEQUENCE TABLE INCLUDING WITHIN THIS SWPPP PRIOR TO PROCEEDING WITH THE INSTALLATION OF BMP'S AND PRIOR TO GROUND DISTURBING ACTIVITIES. THE CONTRACTOR SHALL COMPLETE THE TABLE WITH ANTICIPATED DATES IN WHICH THE BMP WILL BE UTILIZED OR THE ACTIVITY WILL OCCUR.

TURBIDITY

A. TURBIDITY REDUCTION TO NO MORE THAN 29 NTUS ABOVE BACKGROUND LEVEL PRIOR TO DISCHARGE OFF SITE.

B. CONTRACTOR TO FILE FOR A DEP NOTICE OF INTENT (NOI) WITHIN 14 DAYS OF CONSTRUCTION COMPLETION.

1. REMOVE TRAPPED SEDIMENT WHEN BRIGHTLY COLORED EXPANSION RESTRAINT CAN NO LONGER BE SEEN.

2. DECONTAMINATE THE FILTER SACK SHALL BE A WOVEN POLYPROPYLENE FABRIC THAT MEETS OR EXCEEDS REQUIREMENTS IN THE SPECIFICATIONS TABLE.

3. PLACE AN OIL ADSORBENT PAD OR PILLWOW OVER INLET GRATE WHEN OIL SPILLS ARE A CONCERN.

4. INSPECT PER REGULATORY REQUIREMENTS.

5. THE MOUTH "M" OF THE FILTER SACK SHALL MATCH THE INSIDE WIDTH OF THE GRATED INLET BOX.

6. THE DEPTH "D" OF THE FILTER SACK SHALL BE BETWEEN 18 INCHES AND 36 INCHES.

7. THE LENGTH "L" OF THE FILTER SACK SHALL MATCH THE INSIDE LENGTH OF THE GRATED INLET BOX.

8. EXTRA CARES SHALL BE TAKEN TO ENSURE REGULAR MAINTENANCE OF FILTER SACKS USED IN RIGHT OF WAY TO ENSURE ADEQUATE DRAINAGE CAPACITY.

NO.	DESCRIPTION	UNIT	QUANTITY
1	GRAVEL	CU YD	20.00
2	WIRE MESH	100' X 100'	1.00
3	CONCRETE BLOCKS	12" X 12" X 8"	100.00
4	SEDIMENT FILTER	12" X 12" X 8"	1.00
5	GRATED INLET	12" X 12" X 8"	1.00
6	NONWOVEN COVER	12" X 12" X 8"	1.00
7	GRATED INLET	12" X 12" X 8"	1.00
8	SEDIMENT FILTER	12" X 12" X 8"	1.00
9	CONCRETE BLOCKS	12" X 12" X 8"	100.00
10	GRATED INLET	12" X 12" X 8"	1.00
11	SEDIMENT FILTER	12" X 12" X 8"	1.00
12	CONCRETE BLOCKS	12" X 12" X 8"	100.00
13	GRATED INLET	12" X 12" X 8"	1.00
14	SEDIMENT FILTER	12" X 12" X 8"	1.00
15	CONCRETE BLOCKS	12" X 12" X 8"	100.00
16	GRATED INLET	12" X 12" X 8"	1.00
17	SEDIMENT FILTER	12" X 12" X 8"	1.00
18	CONCRETE BLOCKS	12" X 12" X 8"	100.00
19	GRATED INLET	12" X 12" X 8"	1.00
20	SEDIMENT FILTER	12" X 12" X 8"	1.00
21	CONCRETE BLOCKS	12" X 12" X 8"	100.00
22	GRATED INLET	12" X 12" X 8"	1.00
23	SEDIMENT FILTER	12" X 12" X 8"	1.00
24	CONCRETE BLOCKS	12" X 12" X 8"	100.00
25	GRATED INLET	12" X 12" X 8"	1.00
26	SEDIMENT FILTER	12" X 12" X 8"	1.00
27	CONCRETE BLOCKS	12" X 12" X 8"	100.00
28	GRATED INLET	12" X 12" X 8"	1.00
29	SEDIMENT FILTER	12" X 12" X 8"	1.00
30	CONCRETE BLOCKS	12" X 12" X 8"	100.00
31	GRATED INLET	12" X 12" X 8"	1.00
32	SEDIMENT FILTER	12" X 12" X 8"	1.00
33	CONCRETE BLOCKS	12" X 12" X 8"	100.00
34	GRATED INLET	12" X 12" X 8"	1.00
35	SEDIMENT FILTER	12" X 12" X 8"	1.00
36	CONCRETE BLOCKS	12" X 12" X 8"	100.00
37	GRATED INLET	12" X 12" X 8"	1.00
38	SEDIMENT FILTER	12" X 12" X 8"	1.00
39	CONCRETE BLOCKS	12" X 12" X 8"	100.00
40	GRATED INLET	12" X 12" X 8"	1.00
41	SEDIMENT FILTER	12" X 12" X 8"	1.00
42	CONCRETE BLOCKS	12" X 12" X 8"	100.00
43	GRATED INLET	12" X 12" X 8"	1.00
44	SEDIMENT FILTER	12" X 12" X 8"	1.00
45	CONCRETE BLOCKS	12" X 12" X 8"	100.00
46	GRATED INLET	12" X 12" X 8"	1.00
47	SEDIMENT FILTER	12" X 12" X 8"	1.00
48	CONCRETE BLOCKS	12" X 12" X 8"	100.00
49	GRATED INLET	12" X 12" X 8"	1.00
50	SEDIMENT FILTER	12" X 12" X 8"	1.00

STABILIZATION
 A. STABILIZATION MEASURES SHALL BE INITIATED IMMEDIATELY IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED AND WILL REMAIN UNDISTURBED FOR 7 DAYS OR MORE. STABILIZE BY COVERING WITH ADEQUATE AMOUNTS OF MULCH OR SEED AND PERIODICALLY WATER TO PROMOTE AND MAINTAIN GROWTH OF THE TEMPORARY GRASSES, OR BY THE USE OF AN APPROPRIATE ARTIFICIAL BMP.

PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREAS SHALL BE COMPLETED IMMEDIATELY AFTER FINAL GRADING. WHEN CLEAN UP IS NOT POSSIBLE TO PERMANENTLY PROTECT A DISTURBED AREA IMMEDIATELY AFTER GRADING OPERATIONS, TEMPORARY EROSION CONTROL MEASURES SHALL BE INSTALLED. ALL TEMPORARY PROTECTION SHALL BE MAINTAINED UNTIL PERMANENT MEASURES ARE IN PLACE AND ESTABLISHED.

ALL GRASS SLOPES CONSTRUCTED STEEPER THAN 4H:1V SHALL BE SEEDDED IMMEDIATELY AFTER FINAL GRADING IS ESTABLISHED.

DUST CONTROL
 A. BARE EARTH AREAS SHALL BE WATERED DURING CONSTRUCTION AS NECESSARY TO MINIMIZE THE TRANSPORT OF FUGITIVE DUST. IN NO CASES SHALL FUGITIVE DUST BE ALLOWED TO LEAVE THE SITE UNDER CONSTRUCTION.

AS REQUIRED AFTER COMPLETION OF CONSTRUCTION, BARE EARTH AREAS SHALL BE VEGETATED.

AT ANY TIME BOTH DURING AND AFTER SITE CONSTRUCTION THAT WEATHERING AND/OR VEGETATION ARE NOT EFFECTIVE IN CONTROLLING WIND EROSION AND/OR TRANSPORT OF FUGITIVE DUST, OTHER METHODS AS ARE NECESSARY FOR SUCH CONTROL SHALL BE EMPLOYED. THESE METHODS MAY INCLUDE ERECTION OF DUST CONTROL FENCES.

WASTE MANAGEMENT
 A. THE CONTRACTOR SHALL ENSURE THAT ALL WASTE AND DEBRIS ARE MANAGED DAILY SUCH THAT THEY WILL NOT IMPACT STORMWATER OR LEAVE THE PERMITTED AREA, AND DISPOSED OF PROPERLY IN ACCORDANCE WITH APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS.

THE CONTRACTOR SHALL ENSURE THAT ALL CHEMICALS, OILS, FUELS, HAZARDOUS WASTE, UNIVERSAL WASTE AND TOXIC WASTE ARE MANAGED AND DISPOSED OF IN ACCORDANCE WITH APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS. THE CONTRACTOR SHALL ENSURE THAT WASTE IS NOT DISCHARGED FROM THE SITE, AND DOES NOT IMPACT STORMWATER OR GROUNDWATER.

THE CONTRACTOR SHALL PROVIDE APPROPRIATE AND ADEQUATE WASHOUT FACILITIES TO ENSURE THAT CHEMICALS AND WASTE IS NOT DISCHARGED FROM THE SITE AND DOES NOT IMPACT STORMWATER OR GROUNDWATER. (E.G. CONCRETE MIX ONLY WASHOUT, PAINT WASHOUT, OILS, ETC.) THE CONTRACTOR SHALL CLEAN UP SPILLS PROMPTLY AND ENSURE THAT WASHOUT AREAS ARE PROPERLY MAINTAINED TO PROVIDE ADEQUATE VOLUME TO PREVENT OVERFLOW.

THE CONTRACTOR SHALL PROVIDE ADEQUATE SANITARY FACILITIES FOR SITE PERSONNEL MAINTAIN THROUGHOUT CONSTRUCTION, AND PROVIDE FOR PROPER DISPOSAL IN ACCORDANCE WITH APPLICABLE STATE, LOCAL AND FEDERAL REGULATIONS. SANITARY FACILITIES SHALL BE PROPERLY SECURED TO PREVENT TIPPING.

A SPILL CONTROL AND CONTAINMENT KIT (CONTAINING, FOR EXAMPLE, ABSORBENT MATERIAL SUCH AS KITTY LITTER OR SAWDUST, ACID BASE NEUTRALIZING AGENT, BROOMS, DUST PANS, MOPS, BAGS, GLOVES, SHOES, PLASTIC AND METAL TRASH CONTAINERS, ETC.) SHALL BE PROVIDED AT THE CONSTRUCTION SITE AND ITS LOCATION(S) SHALL BE IDENTIFIED WITH DOUBLE BOUNDARIES SHOWN ON THE SITE MAPS.

AT A SPILL CONTROL AND CONTAINMENT KIT SHALL BE OF SUFFICIENT QUANTITIES AND APPROPRIATE CONTENT TO CONTAIN A SPILL FROM THE LARGEST ANTICIPATED PIECE OF EQUIPMENT AND FROM THE LARGEST ANTICIPATED QUANTITIES OF PRODUCTS STORED ON THE SITE AT ANY GIVEN TIME.

WHEN A SPILL OF REPORTABLE QUANTITIES IS DISCOVERED ON THE SITE, THE CONTRACTOR SHALL CLEAN UP ALL SPILLED MATERIALS AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS. THE CONTRACTOR SHALL NOTIFY THE APPROPRIATE AUTHORITIES IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS. THE OWNER AND PROJECT ENGINEER. THE CONTRACTOR SHALL RETAIN CLEANUP INFORMATION AS WELL AS DISPOSAL MANIFESTS WITH THEIR SWPPP.

MATERIALS MANAGEMENT AND EQUIPMENT STAGING AND MAINTENANCE
 A. EXCAVATED MATERIAL SHALL NOT BE DEPOSITED IN LOCATIONS WHERE IT COULD BE WASHED AWAY BY HIGH WATER OR STORM WATER RUNOFF. STOCKPILED MATERIAL SHALL BE COVERED OR ENCRUILED WITH SEDIMENT CONTAINMENT DEVICES.

NEW CONSTRUCTION EQUIPMENT, FURNISH AND MAINTENANCE AREAS SHALL BE DESIGNED TO PREVENT OIL, DRAGAGE, AND LUBRICANTS FROM ENTERING SITE DRAINAGE FEATURES INCLUDING STORMWATER COLLECTION AND TREATMENT SYSTEMS. CONTRACTORS SHALL PROVIDE BROAD DICES OR SILT SCREENS AROUND, AND SEDIMENT SHELTERS WITHIN SUCH AREAS AS REQUIRED TO PREVENT OIL, DRAGAGE, AND LUBRICANTS, OR OTHER CONTAMINANTS. CONTRACTOR SHALL HAVE AVAILABLE, AND SHALL USE, ABSORBENT FILTER PADS TO CLEAN UP SPILLS IMMEDIATELY AFTER ANY OCCURRENCE.

THE CONTRACTOR SHALL ENSURE THAT ALL TOXIC/HAZARDOUS SUBSTANCES AND CHEMICALS ARE PROPERLY STORED, OUT OF THE WEATHER, AND USED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR SHALL ENSURE THAT THESE PRODUCTS ARE STORED AND USED IN SUCH A MANNER THAT WILL NOT NEGATIVELY IMPACT STORMWATER, GROUNDWATER OR PROTECTED SPECIES.

THE CONTRACTOR SHALL ENSURE THAT ALL MATERIALS, EQUIPMENT, DEBRIS, WASTE, TRAILERS, AND OTHER SUPPORT RELATED ITEMS ARE CONTAINED WITHIN THE PERMITTED LIMITS OF DISTURBANCE. THE CONTRACTOR SHALL ENSURE THAT THE STORAGE AND USE OF SUCH ITEMS DOES NOT NEGATIVELY IMPACT STORMWATER OR GROUNDWATER.

DEBRIS VEHICLE TRACKING
 A. THE CONTRACTOR SHALL ENSURE THAT THE CONSTRUCTION EXIT IS USED BY ALL VEHICLES AND EQUIPMENT ENTERING OR LEAVING THE JOBSITE. THE CONTRACTOR SHALL MONITOR AND MAINTAIN THE CONSTRUCTION EXIT TO ENSURE THAT NO SOILS ARE TRACKED OFF-SITE BY TIRES OR TRACKS, AND THAT NO SOILS ARE SPILLED BY TRUCKS OR EQUIPMENT LEAVING THE SITE. ALL TRACKED OR SPILLED SOILS SHALL BE SWEEPED OR CLEANED FROM THE ROADWAY AND RETURNED TO THE SITE. WATER SHALL NOT BE USED TO CLEAN THE SOILS FROM THE ROADWAY UNLESS THE WATER AND SOILS ARE RECOVERED BY THE USE OF A VACUUM TRUCK OR SIMILAR DEVICE.

FERTILIZERS, HERBICIDES AND PESTICIDES
 A. THE CONTRACTOR SHALL ENSURE THAT ALL FERTILIZERS, HERBICIDES, PESTICIDES AND SIMILAR PRODUCTS ARE PROPERLY STORED, OUT OF THE WEATHER, AND APPLIED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR SHALL ENSURE THAT THESE PRODUCTS ARE USED IN SUCH A MANNER THAT WILL NOT NEGATIVELY IMPACT STORMWATER, GROUNDWATER OR PROTECTED SPECIES.

NUTRIENTS SHALL BE APPLIED ONLY AT RATES NECESSARY TO ESTABLISH AND MAINTAIN VEGETATION.

INSPECTIONS AND MAINTENANCE
 A. THE CONTRACTOR SHALL INSPECT BMP'S (I.E. DISCHARGE LOCATIONS, CONSTRUCTION EXIT, PERMETER CONTROLS, INLET PROTECTION, STABILIZATION, EROSION CONTROL, DOCUMENTATION, WASTE DISPOSAL AREAS, MATERIAL STORAGE AREAS, ETC.) TO ENSURE THAT BMP'S ARE NOT CAUSING OR CONTRIBUTING TO VIOLATIONS OF WATER QUALITY STANDARDS OR RESULTING IN OFF-SITE SEDIMENTATION. ENSURE THAT BMP'S ARE INSTALLED, MAINTAINED AND OPERATING CORRECTLY AND EFFECTIVELY. ENSURE THAT BMP'S ASSOCIATED WITH STORAGE AND WASTE DISPOSAL AREAS ARE BEING USED AND MAINTAINED PROPERLY. ENSURE THAT THE CONSTRUCTION EXIT IS FUNCTIONING PROPERLY TO PREVENT OFF-SITE TRACKING OF SEDIMENT. ENSURE THAT EROSION PREVENTION MEASURES ARE MAINTAINED TO PREVENT VISIBLE EROSION OF DISTURBED AREAS AND SEDIMENTATION AT THE DISCHARGE POINTS. AND DETERMINE IF CONSTRUCTION ACTIVITIES HAVE ALTERED THE EFFECTIVENESS OF BMP'S. INSPECTIONS MUST BE COMPLETED AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS, AND WITHIN 24 HOURS AFTER A RAINFALL EVENT OF 0.50 INCHES OR GREATER EVEN IF IT RAINS ON THE WEEKEND OR A HOLIDAY.

THE CONTRACTOR SHALL REPORT ALL INSPECTION FINDINGS AND CORRECTIVE ACTIONS TAKEN AS A RESULT OF THE INSPECTION USING THE STORMWATER POLLUTION PREVENTION PLAN INSPECTION REPORT FORM PROVIDED BY FDEP OR AN EQUIVALENT FORM. INSPECTION REPORTS SHALL BE SIGNED BY THE INSPECTOR AND A RESPONSIBLE AUTHORITY AS DEFINED BY THE PERMIT. INSPECTION REPORTS SHALL BE MAINTAINED WITH THE SWPPP. THE INSPECTOR MUST BE A QUALIFIED EROSION AND SEDIMENT CONTROL INSPECTOR AS DEFINED BY THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION.

ANY MAINTENANCE, REPAIR AND NECESSARY REVISIONS TO BMP'S SHALL BE ADDRESSED IN A TIMELY MANNER, BUT IN NO CASE LATER THAN 7 CALENDAR DAYS FOLLOWING THE INSPECTION OR IDENTIFICATION OF THE ISSUE. UNLESS OTHERWISE SPECIFIED, ACCUMULATED SEDIMENTS SHOULD BE REMOVED BEFORE THEY REACH ONE-HALF OF THE CAPACITY OF THE CONTROL DEVICE.

ALLOWABLE NON-STORMWATER DISCHARGES
 THE GENERIC PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES PROHIBITS MOST STORMWATER DISCHARGES DURING THE CONSTRUCTION PHASE. CERTAIN DISCHARGES ARE ALLOWED BY THE PERMIT, PROVIDED APPROPRIATE BMP'S ARE UTILIZED AND THE DISCHARGE DOES NOT CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS. ALLOWABLE NON-STORMWATER DISCHARGES THAT OCCUR DURING CONSTRUCTION ON THIS PROJECT PER PART 12.2 OF THE GENERIC PERMIT ARE:

- DISCHARGES FROM FIRE FIGHTING ACTIVITIES;
- FIRE HYDRANT FLOWINGS;
- WATERS WITHOUT OIL DEBRIS USED TO SPRAY OFF LOOSE SOILS FROM VEHICLES;
- WATERS USED TO CONTROL DUST;
- POTABLE WATER SOURCES SUCH AS WATERLINE FLOWINGS;
- LANDSCAPE IRRIGATION AND SPRING;
- ROUTINE EXTERNAL BUILDING WASHDOWN PROVIDED NO DEBRIS OR OILS ARE USED;
- PAVEMENT WASHWATERS THAT DO NOT CONTAIN DETERGENTS, LEAKS, SPILLS OF TOXIC OR HAZARDOUS MATERIALS;
- AIR CONDITIONING CONDENSATE;
- SPRING WATER;
- FOUNDATION OR FOOTING DRAIN FLOWS THAT ARE NOT CONTAMINATED WITH PROCESS MATERIALS SUCH AS SOLVENTS;
- NONCONTAMINATED GROUND WATER ASSOCIATED WITH DEMATERING ACTIVITIES AS DESCRIBED IN PART 3.4 OF THE GENERIC PERMIT.

NOTE: AVOID USING IN TRAFFIC AREAS AS THIS CAN CAUSE A HAZARD.

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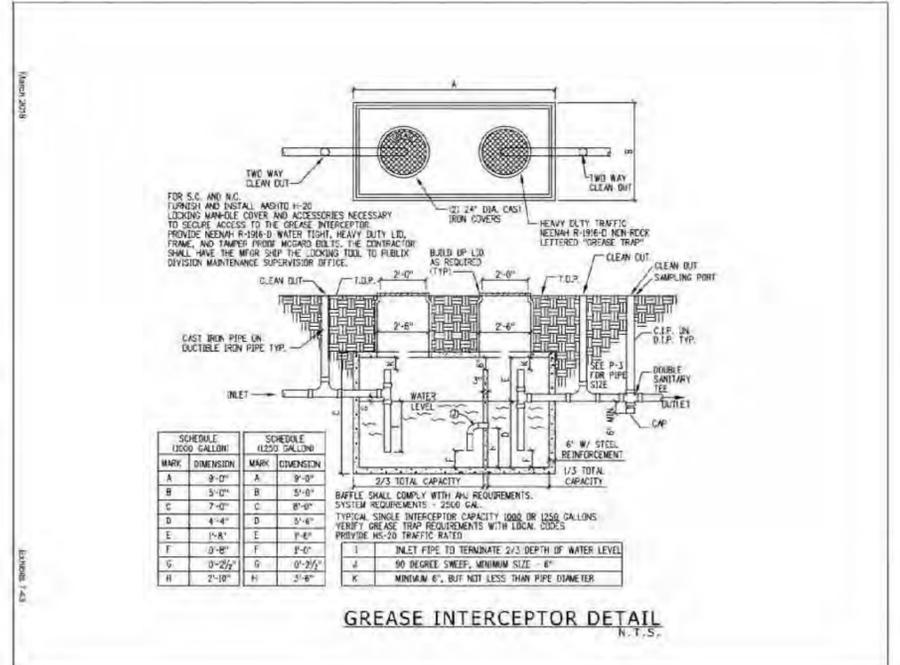
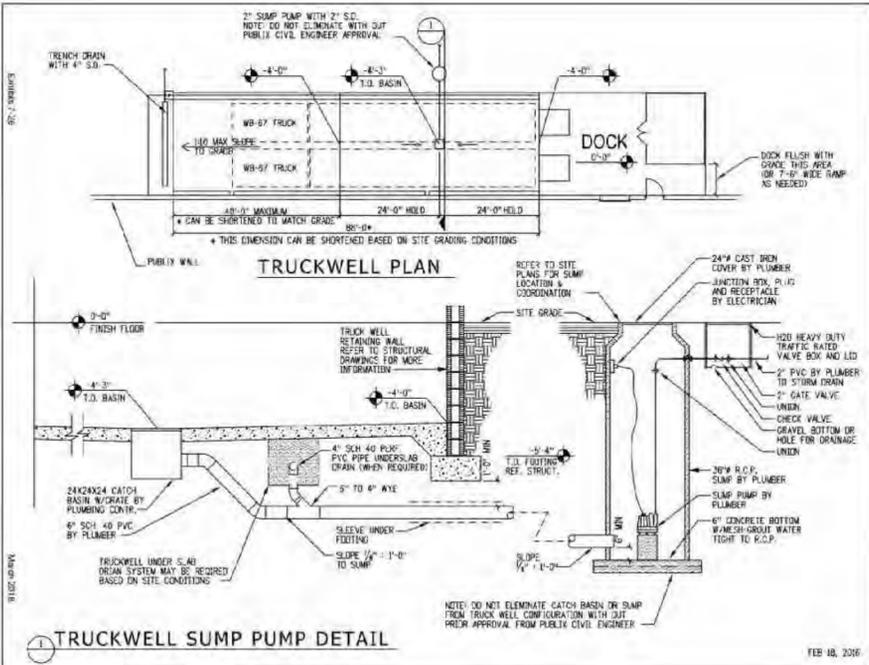
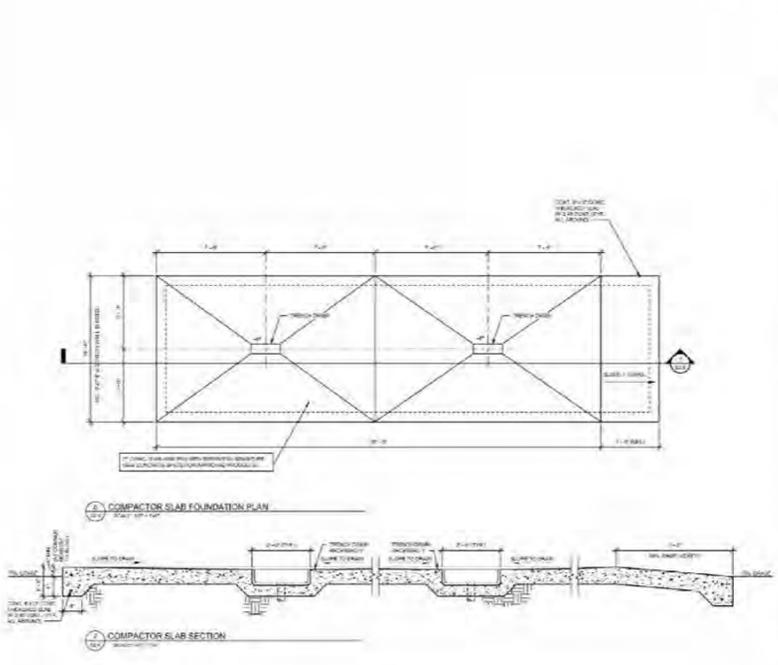
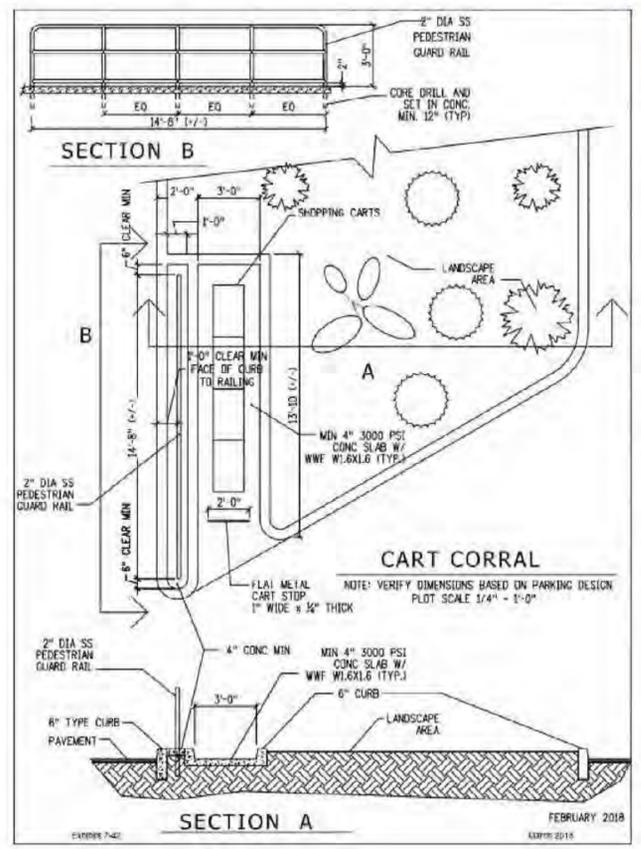
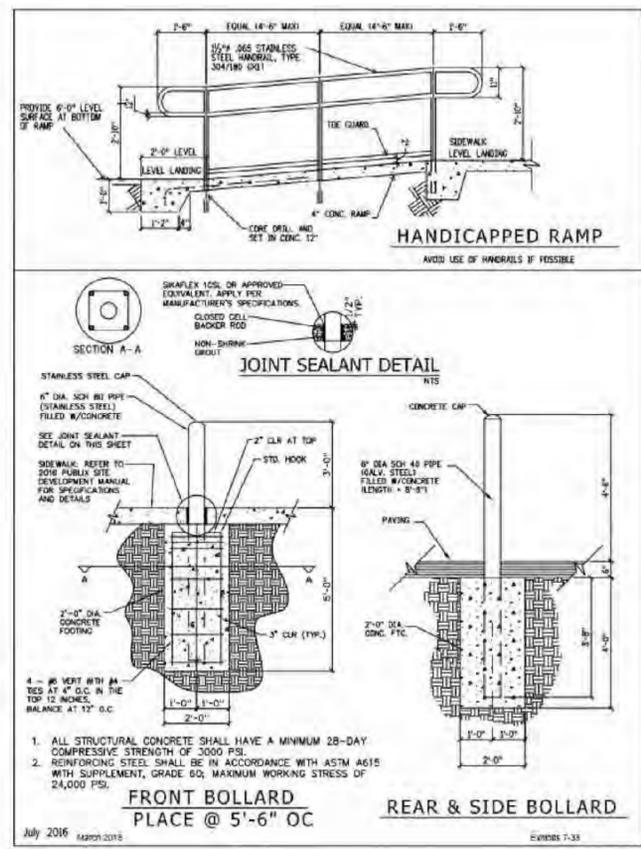
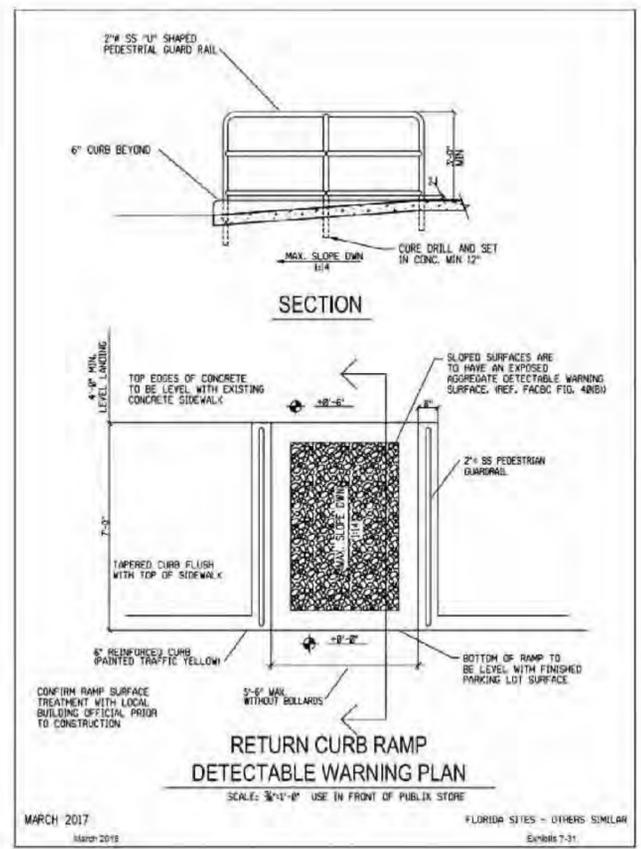
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This item has been digitally signed and sealed by WADE P. OLSZEWSKI, P. E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



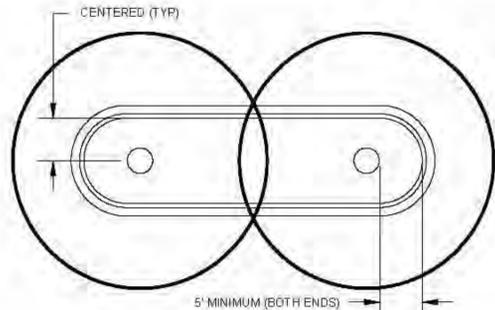
No.	Date	Revision

Designed: W. Olszewski
 Drawn: D. Schneider
 Checked: W. Olszewski
 Job No.: R9123
 Date: 6/05/23 © 2023

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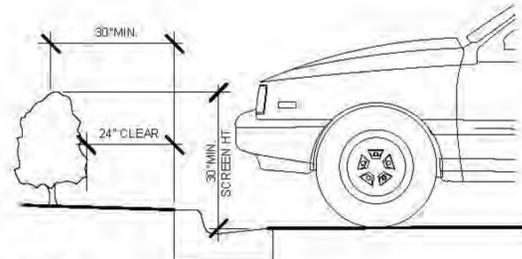
LANDSCAPE NOTES:

- The Landscape Contractor shall be responsible for all materials and all work as called for on the Landscape Plans and in the Landscape Specifications. In the event of variation between quantities shown on plant list and the plans, the plans shall control. The Landscape Contractor shall verify all quantities and report any discrepancies at the time of bidding.
- The Landscape Contractor shall review architectural/engineering plans and become thoroughly familiar with surface and subsurface utilities.
- Prior to construction, the contractor shall be responsible for locating all underground utilities and shall avoid damage to all utilities during the course of the work. Locations of existing buried utility lines shown on the plans are based upon best available information and are considered to be the responsibility of the contractor. It shall be the responsibility of the contractor to verify the locations of utility lines within and adjacent to the work area 2) to protect all utility lines during the construction period 3) to repair any and all damage to utilities, structures, site appurtenances, etc. which occurs as a result of the construction 4) to field adjust the location of proposed trees and plants 10' of the center of the utility lines. Notify the Landscape Architect if a 10' offset does not function.
- The work shall be coordinated with other trades to prevent conflicts. Coordinate the planting with the irrigation work to assure availability and proper location of irrigation lines and plants.
- Contractor shall ensure that there are no visual obstructions to vehicle lines of sight and traffic controls. Contractor shall field adjust tree and/or shrub locations to avoid any such obstructions.
- Trees shall be maintained by the owner to avoid future such obstructions by pruning trees and/or shrubs as necessary utilizing horticulturally sound techniques.
- All planting shall be performed by personnel familiar with planting procedure and under the supervision of a qualified planting foreman.
- All plant material shall be graded Florida No. 1 or better as outlined under Grades and Standards for Nursery Stock, Part I and II, and maintained by the Florida Department of Agriculture and Consumer Services.



ALL TREES PLANTED IN LANDSCAPE ISLANDS OR ANY LANDSCAPED AREAS SHOULD BE A MINIMUM OF 5' OFF OF BACK OF CURB UNLESS ABSOLUTELY NECESSARY DUE TO UTILITY LINES/PIPES LOCATION.

TYPICAL ISLAND PLANTING



NOTES:
INSTALL HEDGE ALONG PARKING BAYS A MINIMUM OF 30' BEHIND BACK OF CURB TO ALLOW FOR 24" VEHICULAR OVERHANG. AT TIME OF INSTALLATION, HEDGE SHALL SCREEN A MINIMUM OF 30' ABOVE FINISH GRADE OF PARKING STALLS.

TYPICAL SECTION - HEDGE INSTALLATION

N.T.S.

SYM	COMMON NAME	BOTANICAL NAME	DESCRIPTION	QTY.	NOTE
TREES					
IC	DAHOON HOLLY	ILEX CASSINE	3" CAL., 8' HT., 2' SPRD.	5	N, D, FF
IV	SOUTHERN RED CEDAR	JUNIPERUS VIRGINIANA	3" CAL., 8' HT., 2' SPRD.	6	N, E, FF
LJ	LIGUSTRUM TREE	LIGUSTRUM JAPONICUM	3" CAL., 8' HT., 7' HT.	20	E, FF
PE	NORTH SLASH PINE	PINUS ELLIOTTII	3" CAL., 8' HT., 2' SPRD.	2	N, E, FF
SP	CABBAGE PALM	SABAL PALMETTO	REFER TO PLAN FOR CT., REGEN HEADS	47	N, E, FF
TF	WINDMILL PALM	TRACHYCARPUS FORTUNEI	18" OA. CLEAN STRAIGHT TRUNKS	7	E, FF
UP	DRAKE ELM	ULMUS PARVIFOLIA 'DRAKE'	3" CAL., 8' HT., 2' SPRD.	5	D, FF
EX	EXISTING TREES				
SHRUBS					
CA	CRINUM LILY	CRINUM AUGUSTUM	15 GAL., 4" HT., FULL 5' O.C.	20	A, FF
LS	SUNSHINE LIGUSTRUM	LIGUSTRUM SINENSE	3 GAL., 8" HT., 6" SPRD., 24" O.C.	161	H, A
PO	PRINGLES PODOCARPUS	PODOCARPUS MACROPHYLLUS 'PRINGLES'	3 GAL., 12" HT., 8" SPRD., 15" O.C.	289	A, FF
PO1	MAKI PODOCARPUS	PODOCARPUS MACROPHYLLUS 'MAKI'	3 GAL., 24" HT., 9" SPRD., 24" O.C.	754	H, FF
GROUND COVER					
HD	DUNE SUNFLOWER	HELIANTHUS DEBILIS	1 GAL., 12" HT., 10" SPRD., 24" O.C.	-	G, FF
IV	DWARF YALPON HOLLY	ILEX VOMITORIA 'NANA'	3 GAL., 12" HT., 12" SPRD., 24" O.C.	-	H, FF
JC	BLUE PACIFIC JUNIPER	JUNIPERUS CONFERTA 'BLUE PACIFIC'	1 GAL., 3" HT., 8" SPRD., 18" O.C.	-	G, FF
LM	EMERALD GODDESS LIRIOPE	LIRIOPE MUSCARI 'EMERALD GODDESS'	1 GAL., 6" HT., 6" SPRD., 18" O.C.	-	G, FF
TF	DWARF FACAHATACHEE GRASS	TRIPSACUM FLORIDANA	3 GAL., 15" HT., 10" SPRD., 30" O.C.	-	G, FF
ZP	COONITE	ZAMIA PUMILA	3 GAL., 15" HT., 10" SPRD., 30" O.C.	-	G, FF

BAHA	ARGENTINE BAHIA SOD	PASPALUM NOTATUM 'ARGENTINE'	SOLID SOD, CONTRACTOR TO VERIFY QTY.
SOD	ST. AUGUSTINE GRASS	STEMOTAFRUM SECUNDATUM	SOLID SOD, CONTRACTOR TO VERIFY QTY.

(A) ACCENT
(D) DECIDUOUS
(E) EVERGREEN
(FF) FLORIDA FRIENDLY
(G) GROUND COVER
(H) HEDGE
(N) NATIVE

- NOTE:
- PLANT DESCRIPTIONS ARE FOR MINIMUM ACCEPTABLE SPECIFICATIONS. ALL CRITERIA LISTED FOR CONTAINER SIZE, CALIPER, HEIGHT, SPREAD, ETC. MUST BE MET FOR PLANT MATERIAL ACCEPTANCE. FOR EXAMPLE, IF A THREE GALLON SHRUB DOES NOT MEET THE HEIGHT OR SPREAD SPECIFICATION, IT WILL NOT BE ACCEPTED.
 - IF SPECIFIED PLANTS ARE UNAVAILABLE AT TIME OF CONSTRUCTION, CONTRACTOR MAY REPLACE SPECIFIED PLANTS WITH PLANTS APPROVED BY LANDSCAPE ARCHITECT AND CITY STAFF.
 - ALL OPEN SPACE AREAS WITHIN THE PROPERTY SHALL BE SODED UNLESS PAVED, SEEDED AND MULCHED OR PLANTED WITH SHRUBS AND GROUND COVER.
 - ALL LANDSCAPED AREAS WILL BE 100% IRRIGATED WITH A CENTRAL AUTOMATIC IRRIGATION SYSTEM INCLUDING A RAIN SENSOR.
 - CONTRACTOR TO MODIFY EXISTING IRRIGATION SYSTEM TO ENSURE ADEQUATE IRRIGATION FOR ALL NEW PLANT MATERIAL.
 - CONTRACTOR SHALL REPLACE ANY EXISTING SOD OR OTHER PLANT MATERIALS DAMAGED DURING CONSTRUCTION IN AREAS THAT ARE OUTSIDE PROPOSED LANDSCAPE AS SHOWN ON THE PLAN.
 - REMOVE COMPACTED MATERIAL FROM ALL PLANT BEDS.

- The Landscape Architect or Owner shall have the right, at any stage of the operations, to reject any and all work and materials which, in his opinion, do not meet with the requirements of these specifications.
- Except as otherwise specified, the Landscape Contractor's work shall conform to accepted horticultural practices as used in the trade.
- Plants shall be protected upon arrival at the site, by being thoroughly watered and properly maintained until planted.
- TOPSOIL

Topsoil shall be natural, friable, fertile, fine loamy soil possessing characteristics of representative topsoil in the vicinity that produces heavy growth. Topsoil shall have a pH range of 5.5 to 7.4, free from subsol, objectionable weeds, litter, sods, dirt clay, stones larger than 1/4 inch in diameter, clumps, roots, trash, toxic substances, or any other material which may be harmful to plant growth or hinder planting operations. Top soil shall contain a minimum of three percent organic material. 8" Top Soil shall be placed in all turf & landscape areas.

- All tree pits shall be excavated to size and depth in accordance with the Florida Grades & Standards for Nursery Stock, unless shown otherwise on the drawings, and back filled with the specified planting soil. The Landscape Contractor shall test fill all tree pits with water before planting to assure proper drainage/percolation is available.
- The Landscape Contractor shall be responsible for proper watering of all plants. All plants shall be thoroughly watered at time of planting and kept adequately watered for plants as defined by Florida Grades and Standards for Nursery stock until time of acceptance. It shall be the Landscape Contractor's responsibility to assure that plants are not over watered.
- It shall be the Landscape Contractor's responsibility to prevent plants from falling or being blown over, to re-straighten and replant all plants which lean or fall and to replace all plants which are damaged due to lack of proper watering or staking. The Landscape Contractor shall be legally liable for any damage caused by instability of any plant material.
- All Pines to be staked as indicated per Palm staking details. All other trees to be stabilized utilizing 8' lodge poles per tree planting details.
- Plants blown over by high winds, within the guaranteed period, shall not be cause for additional expense to the Owner, but shall be the responsibility of the Landscape Contractor. Damaged plants shall be replaced by the Landscape Contractor at no additional cost to the Owner.

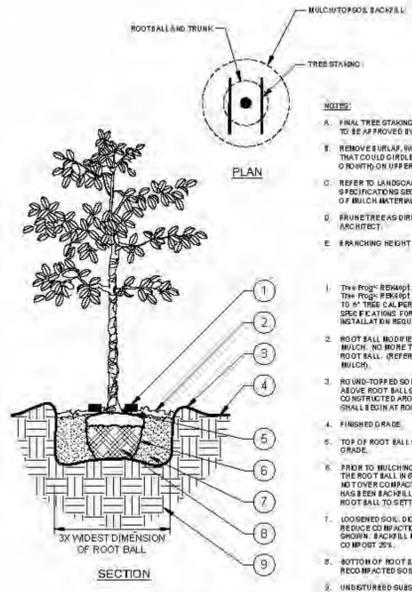
- Sod shall be of a species specified on the drawings and originate from a commercial turf grower, whose farm is free of muck soils. Muck grown sod will not be approved. It shall be a dense stand of turf, reasonably free of weeds, well matted with grass roots in rectangles 12 inch by 24 inch or in 12 inch wide strips in a length consistent with the equipment and methods used to handle the rolls and place the sod. Any netting contained within the sod shall be certified by the manufacturer to be bio-degradable. The soil and root mat shall be a minimum of 1-1/2 inch thick and must hold together during placement. Sod shall be placed adjacent to one another to avoid gaps and overlaps. Strips shall be staggered between the rows. Sod placed on slopes exceeding 5:1 shall be pinned with turf staples. Sod turf shall have been mowed a minimum of one week prior to cutting and delivery, so that the length of the turf is no longer than 4 inches at time of delivery. Place sod within 48 hours of cutting the sod. The sod shall be kept moist throughout the 48 hour period to maintain the health and viability of the sod. Submit a letter of certification to the Owner's CEI Representative, at time of delivery, as to the source of the sod, the time it was cut, the species and cultivars provided, last mowing date, and that the sod is free of fire ants. Sod which has been cut for longer than 48 hours after being cut shall not be used unless specifically authorized by Owner's CEI Representative.

- It shall be the Contractor's responsibility to measure and determine the exact quantity of sod required for a complete job at the time of bidding or providing a price quote. The Owner shall not be responsible for additional cost due to the Contractor's under estimating the quantity of sod for the original bid area.
- The Landscape Contractor shall insure adequate vertical drainage in all plant beds, planters, and sod areas. Vertical drilling through any compacted fill to native soil will be accomplished to insure drainage. If well drained fill is necessary to assure positive drainage, this issue shall be brought up by the Landscape Contractor at time of bidding.

- UNSATURABLE SUBSOILS
Locations containing unsuitable subsoil shall be treated by one or more of the following:
 - Where unsuitability is deemed by Owner or Owner's Representative to be due to excessive compaction caused by heavy equipment and where natural subsoil is other than AASHTO classification of A6 or A7, loosen such areas with spades, digging, or other means to loosen soil to condition acceptable to Owner. Loosen soil to minimum depth of 12 inches with additional loosening as required to obtain adequate drainage. Contractor may introduce peat, moss, sand, or organic matter into the subsoil to obtain adequate measures shall be considered as incidental, without additional cost to Owner.
 - Where unsuitability is deemed by Owner or Owner's Representative to be due to presence of boards, mortar, concrete, graded aggregate base, or other construction material in sub grade and where natural subsoil is other than AASHTO classification of A6 or A7, remove debris and objectionable material. Such remedial measures shall be considered as incidental, without additional cost to Owner.
 - Where unsuitability is deemed by Owner to be because natural subsoil falls into AASHTO classification of A6 or A7 and contains moisture in excess of 30 percent, then installation of sub drainage system or other means described elsewhere in Specifications shall be used. Where such conditions have not been known or revealed prior to planting time and they have not been recognized in preparation of The Drawings and Specifications, then Owner shall issue pricing order to install proper remedial measures.
 - Planting beds where existing subsoil is determined by Owner to be unsuitable for plant growth in accordance paragraph Unsuitable Subsoil herein shall be excavated to a depth of 12 inches or as needed to provide adequate drainage. Replace excavated soil with planting soil.
- The Landscape Contractor shall insure that his work does not interrupt established or projected drainage patterns.
- The Landscape Contractor shall prune, shape and remove dead foliage/limbs from existing plant material to remain. Conform with the Landscape Architect or Owner the extent of work required at time of bidding.
- Mulch - All plant beds shall be top dressed with 3" shredded hardwood mulch (or approved eqvt.). Cypress mulch not permitted. A 5' diameter mulch ring to be placed around trees located in sod areas or outside of planting beds.
- Transplanted Material - The Landscape Contractor shall be responsible for determining and evaluating which plant materials are suitable for transplanting and shall verify this with the Landscape Architect or Owner. The Landscape Contractor shall take all reasonable, horticulturally acceptable measures to assure the successful transplanting of determined plant materials. The Landscape Contractor shall be responsible for replacing any relocated plant materials which die (1) such measures are not taken, as determined by the Landscape Architect or Owner. Replacement plants shall be of identical species and size if required.

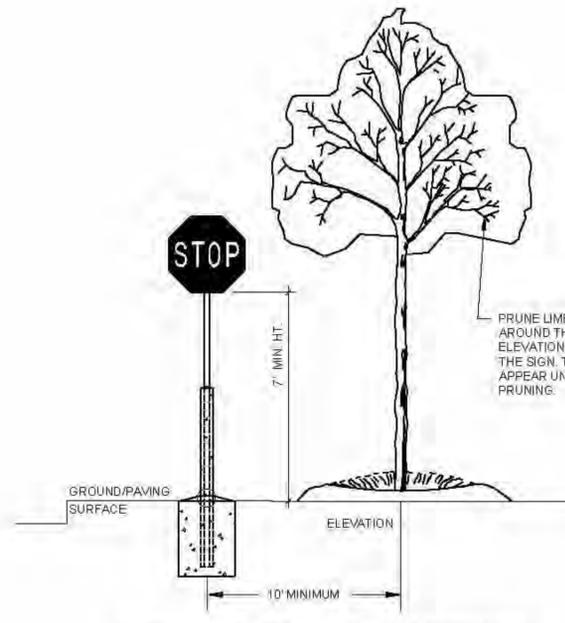
- MAINTENANCE PRIOR TO FINAL INSPECTION AND ACCEPTANCE:
Maintenance shall commence after each plant is planted and the maintenance period shall continue until the job or specific phase of the job is accepted by the Landscape Architect or Owner. Extreme care shall be taken to instruct the Owner or his representatives in general maintenance procedures.
Plant maintenance shall include watering, pruning, weeding, cultivating, mulching, tightening, and repairing of guys, replacement of sick or dead plants, resetting plants to proper grades or upright positions and restoration of the planting saucer and all other care needed for proper growth of the plants.
During the maintenance period and up to the date of final acceptance, the Landscape Contractor shall do all seasonal spraying and/or dusting of trees and shrubs. Upon completion of all planting, an inspection for acceptance of work will be held. The Landscape Contractor shall notify the Landscape Architect or Owner for scheduling of the inspection 10 days prior to the anticipated date.
At the time of the inspection, if all of the materials are acceptable, a written notice will be given by the Landscape Architect or Owner to the Landscape Contractor stating the date when the Maintenance Period ends.

- GUARANTEE AND REPLACEMENT:**
- All plant materials shall be guaranteed for one (1) year from the time of final inspection and interim acceptance shall be alive and in satisfactory growth for each specific kind of plant at the end of the guaranteed period.
- At the end of the guarantee period, any plant required under this contract that is dead or not in satisfactory growth, as determined by the Owner or the Landscape Architect, shall be removed and replaced. Replacement plants shall have an extended guarantee, as noted above, from time of replacement.
- All replacements shall be planted of the same kind and size as specified on the plant list. They shall be the responsibility of the Landscape Contractor.



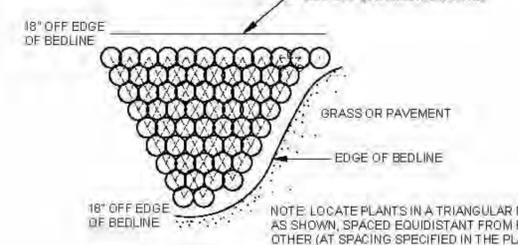
SMALL TREE PLANTING (14' OR LESS)

N.T.S.



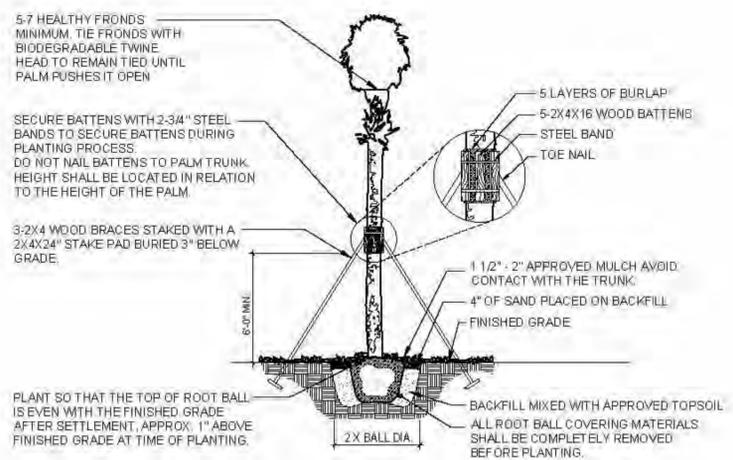
TREE PLANTING AT TYPICAL SIGN

N.T.S.



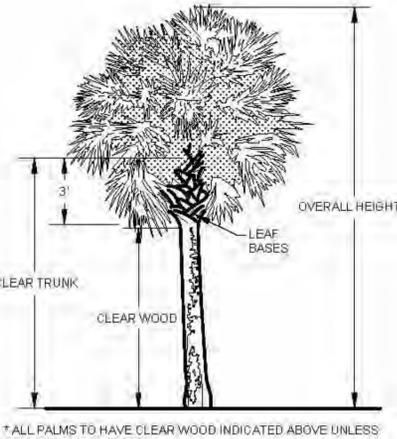
SHRUB/GROUND COVER SPACING PLAN

N.T.S.



PALM STAKING DETAIL

N.T.S.



SABAL PALM (NO CROWN SHAFT)

PALM MATRIX B

DPI INSPECTION NOTES (REQUIRED)

D.P.I. PALM INSPECTION NOTE: ALL PALMS SHALL HAVE A VALID AND CURRENT STATE OF FLORIDA DIVISION OF PLANT INDUSTRY (DPI) INSPECTION CERTIFICATION PRIOR TO BEING TRANSPORTED TO THE CONSTRUCTION SITE. THE DPI CERTIFICATION MUST BE SUBMITTED TO CPH AND A COPY OF THIS CERTIFICATION MUST BE PROVIDED TO THE GENERAL CONTRACTOR AND MAINTAINED WITH THE CONSTRUCTION RECORDS.

DPI INSPECTION NOTES (REQUIRED)

D.P.I. INSPECTION OF ALL PLANT MATERIAL: ALL TREES, SHRUBS AND SOD WILL HAVE A VALID AND CURRENT STATE OF FLORIDA DIVISION OF PLANT INDUSTRY (DPI) INSPECTION CERTIFICATION PRIOR TO BEING TRANSPORTED TO THE CONSTRUCTION SITE. THE DPI CERTIFICATION MUST BE SUBMITTED TO CPH AND A COPY OF THIS CERTIFICATION MUST BE PROVIDED TO THE GENERAL CONTRACTOR AND MAINTAINED WITH THE CONSTRUCTION RECORDS.

PALM HEIGHT/TRUNK SPECIFICATIONS

OVERALL HEIGHT: HIGHEST POINT IN THE CANOPY MEASURED FROM THE SOIL LINE TO THE NATURAL POSITION OF THE LAST FULLY EXPANDED LEAF. UNLESS SPECIFIED DIFFERENTLY, THE TERM HEIGHT OR HEIGHT MEASUREMENTS SPECIFIED WILL BE CONSIDERED OVERALL HEIGHT.

CLEAR TRUNK: A MEASUREMENT FROM THE SOIL LINE TO A POINT IN THE CANOPY WHERE THE TRUNK CALIPER BEGINS TO TAPER ABRUPTLY. ON MANY PALMS, THIS POINT WILL BE AT THE BASE OF THE PETIOLE OF THE THIRD OR FOURTH YOUNGEST BUT FULLY EXPANDED LEAF.

CLEAR WOOD: A MEASUREMENT FROM THE SOIL LINE TO THE HIGHEST POINT OF THE TRUNK FREE OF PERSISTENT LEAF BASES. ON PALMS WITH A CROWN SHAFT, THE MEASURE WILL BE FROM THE SOIL LINE TO THE BASE OF THE CROWN SHAFT. IT SHOULD BE NOTED THAT PALMS WITH VERY PERSISTENT LEAF BASES MAY NOT HAVE CLEAR WOOD.

cph

www.cphcorp.com

A Full Service A & E Firm

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Jacksonville, FL 32256
Ph: 904.332.8999

Plans Prepared By:
C.P.H. Inc
State of Florida License:
Engineer No. 3215
Surveyor No. LB7443
Architect No. AA26080298
Landscape No. LC888298

ARCHITECT
STATE OF FLORIDA
NO. 18667318
DATE: 06/23/23

DATE: 06/23/23
APR 15, 2023

This item has been digitally signed and sealed by Davis R. Bryant on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

No.	Date	Revision
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Designed: D. Bryant
Drawn: N. Crouch
Checked: D. Bryant
Job No.: R9123
Date: 6/23/23

LANDSCAPE NOTES AND DETAILS

regency centers

CITY OF ST. AUGUSTINE BEACH, FLORIDA

THIS SHEET NOT VALID FOR CONSTRUCTION WITHOUT COMPLETE SET OF PLANS.



City of St. Augustine Beach Building and Zoning Department

To: Comprehensive Planning and Zoning Board
From: Jennifer Thompson, Planner
CC: Brian Law, Director of Building & Zoning, Bonnie Miller, Senior Planner
Date: 09/12/2023
Re: Proposed Code Changes Sections 6.01.04 & 6.01.05

Section 6.01.04 b. of the City's Land Development Regulations currently allows for specific architectural features on buildings to exceed 10 feet above the building height limit of 35 feet. The new proposed code change would alter the code to only allow this for commercial occupancies not including transient rentals. This would prevent a residential building from exceeding 35 feet in height.

Section 6.01.05 is a new proposed section, which includes drainage requirements for new development which may include gutters, retaining walls, underdrains, swales, or any other methods deemed necessary by the Building Official or designee.

Sincerely,

Jennifer Thompson, CFM

Planner

Planning and Zoning Division

ORDINANCE NO: 23-XX

AN ORDINANCE OF THE CITY OF ST. AUGUSTINE BEACH, FLORIDA, RELATING TO BUILDING HEIGHT MEASUREMENT & DRAINAGE REQUIREMENTS FOR NEW DEVELOPMENT; AMENDING THE CODE OF THE CITY OF ST. AUGUSTINE BEACH, CHAPTER 6, BUILDINGS AND BUILDING REGULATIONS, TO AMEND, REVISE AND RESTATE THE SECTIONS 6-01 OF THE CITY CODE; AND PROVIDING AN EFFECTIVE DATE.

WITNESSETH:

WHEREAS, § 166.041, Florida Statutes, provides for procedures for the adoption of ordinances and resolutions by municipalities; and

WHEREAS, the City Commission for the City of St. Augustine Beach finds that it is in the best interest of public health, safety, and general welfare that the following amendments be adopted consistent with the requirements of Section 166.021 (4), Florida Statutes.

BE IT ENACTED BY THE CITY COMMISSION OF THE CITY OF ST. AUGUSTINE BEACH, FLORIDA:

SECTION 1. The foregoing recitals are incorporated as legislative findings of fact.

SECTION 2. Amend Chapter 6, Sections 6.01.04 and 6.01.05 of the Code of the City of St. Augustine Beach be, and the same is, hereby amended, revised and restated to read:

Sec. 6.01.04. Building height measurement, exceptions, and applications.

- b. The building height limitation shall not apply to architectural features or any roof structures for housing elevators, stairways, tanks, mechanical equipment, ventilation fans, solar energy collectors, or similar equipment, not to church spires, steeples, belfries, cupolas, domes, monuments, water towers, skylights, flag poles, chimneys, vents or similar structures, which may be erected above the height limit, nor to fire or parapet walls, provided, however that such features and items shall not extend more than ten (10) feet above the structure for commercial occupancies not including transient rentals.

Sec. 6.01.05. Drainage Requirements for New Development

- A. The Director of Building and Zoning or designee may require construction of retaining walls, roof gutters, underdrains, swales, or any other method deemed necessary to provide adequate drainage.
- B. Roof gutters are required for 2 story or greater buildings.

SECTION 3. All ordinances or parts of ordinances in conflict herewith are repealed to the extent of such conflict.

SECTION 4. If any section, subsection, sentence, clause, phrase, word or provision of this ordinance is held to be invalid or unconstitutional by a court of competent jurisdiction, then said holding shall not be so construed as to render invalid or unconstitutional the remaining provisions of this ordinance.

SECTION 5. This Ordinance shall take effect ten (10) days after passage, pursuant to Section 166.041(4), Florida Statutes

PASSED, APPROVED AND ADOPTED at the regular meeting of the City Commission of the City of Saint Augustine Beach, Florida this ____ day of _____ 2023.

MAYOR

ATTEST:

CITY CLERK

EXAMINED AND APPROVED by me this ____ day of _____, 2023.

MAYOR

Published in the _____ on the ____ day of _____,
2023. Posted on www.staugbch.com on the ____ day of _____, 2023.

DRAFT



City of St. Augustine Beach Building and Zoning Department

To: Comprehensive Planning and Zoning Board
From: Jennifer Thompson, Planner
CC: Brian Law, Director of Building & Zoning, Bonnie Miller, Senior Planner
Date: 09/12/2023
Re: Proposed Land Development Regulations Section 3.02.05

Section 3.02.05 of the City of St. Augustine Beach's Land Development Regulations allows for permits to be issued for special events on privately owned property in the commercial land use district. Section 3.02.05 F requires that all vehicle parking shall be located on site of the business holding the special event and that there must be 25 parking spaces.

Many businesses in the city have parking lots that currently have less parking than 25 spaces. Therefore, businesses with less parking than 25 spaces are not allowed to host special events. Since many areas of our city are walkable and residents and visitors alike can take alternate forms of transportation to special events, the Planning and Zoning Division is suggesting that this code be changed and are asking for input from the Comprehensive Planning and Zoning Board.

Sincerely,

Jennifer Thompson, CFM

Planner

Planning and Zoning Division

Sec. 3.02.05. Special events—Business/promotional/sales.

- A. The City Manager or his designee shall have the authority to issue permits for special events on privately owned property in the commercial land use district.
- B. No person shall aid, form, stage or conduct any special event, unless the special event occurs on property in the commercial land use district, and with a permit having first been issued.
- C. One (1) location, site, or business may have a promotional sale no more than five (5) times during a calendar year. When more than one (1) business is situated on a parcel, lot, or tract of land, all of the businesses situated on such site, or an association authorized to act on behalf of all of the businesses, shall be required to apply for a special event permit, and no more than five (5) promotional sales per calendar year will be allowed on any such site.
- D. A special event may be held for one (1), two (2), or three (3) consecutive days, but no more than three (3) consecutive days, pursuant to a special event permit issued by the City Manager or designee.
- E. A special event may be held for longer than three (3) consecutive days, but no more than thirty (30) consecutive days, with a conditional use permit. The comprehensive planning and zoning board shall have the authority to grant conditional use permits for special events lasting no more than thirty (30) consecutive days on privately owned land in the commercial land use district, and provided each such special event complies with all other requirements of this section, and applicable city codes. It shall not be necessary for the city commission to approve or confirm the decision of the board in respect to the grant or denial of a conditional use permit for a special event. The procedures and limitations provided under Chapter 10 of this Code shall apply to such conditional use permits, except that any reference to the city commission or commission shall be read as the comprehensive planning and zoning board. An appeal of any decision by the board may be made to the city commission.
- F. All vehicle parking for a special event shall be located on the site of the business holding the special event. There must be at least twenty-five (25) on-site parking spaces available for parking by the public. Parking shall not be allowed on public streets, rights-of-way or off-site locations.
- G. A special event permit shall not be issued unless the special event shall occur within one hundred eight (180) days of the date of issuance of the permit.
- H. The application fee for a special event permit shall be fifty dollars (\$50.00). The application shall be in writing and on a form prescribed by the City Manager or designee. A special event permit from the City Manager or designee shall not be necessary when a conditional use permit for a special event has been issued.
- I. The sale, offer for sale, or display of merchandise, food or beverages may occur outside of an enclosed building or from a vehicle or trailer as part of a special event. Music or entertainment outside of an enclosed building shall not occur between the hours of 9:00 p.m. and 9:00 a.m. the following day during any special event.
- J. The provisions of this section do not affect the regulation of special events occurring on property owned by the City of St. Augustine Beach or St. Johns County.

(Ord. No. 18-07 , § 1(Exh. 1), 5-7-18)